



NOTE: SHADOWS SHOWN ON PERSPECTIVES ARE NOT SITE SPECIFIC. IT IS AN INDICATIVE REPRESENTATION OF THE BUILDING FORM.

### CONSTRUCTION DETAILS

DETAIL DESCRIPTION	REFERENCE CODE
- OUTDOOR LIVING BRICK PIER EAVE DETAILS	- CAR-EAVE-BRICK PIER-01
- OUTDOOR LIVING POST EAVE DETAILS	- CAR-EAVE-TIMBER POST-02
- GARAGE DOOR DETAILS	- CAR-GARAGE DOOR-01
- GARAGE DOOR EAVE DETAILS	- CAR-GARAGE DOOR-02
- STANDARD SOFFIT/EAVE DETAILS	- CAR-SOFFIT/EAVE-03
- BATH SPECIFICATIONS AND BATH HOB DETAILS	- CAR-BATH-01
- NOGGINGS, MANHOLE & P.C.J. DETAILS	- CAR-NOGGINGS-01
- FACE BRICK SILL DETAILS	- BRI-FACE BRICK SILL-01
- EXTERNAL OPENING HEAD DETAILS	- BRI-OPENING HEAD-01
- RENDERED BRICK SILL DETAILS	- BRI-RENDER BRICK SILL-02
- BRICK ARTICULATION DETAILS	- BRI-ARTICULATION-01
- HOUSE CONCRETE SLAB FORMWORK & CONCRETE PLUMBING RECESS DETAILS	- CON-02
- SURFACE WATER GRATE DETAIL	- PLM-01
- DOWNPIPE/SEWER DETAILS	- PLM-DRAINAGE-01
- WET AREA ANGLE DETAILS	- REFER TO DETAIL PAGE
- OPEN SHOWER FLOOR RECESS DETAILS	- REFER TO DETAIL PAGE
- OVERHEAD CABINET DETAILS	- REFER TO DETAIL PAGE

### STANDARD NOTES

#### GENERAL

- REFER SITE PLANS FOR BUILDING DESIGN WIND CLASSIFICATION.
- ALL BUILDING WORKS ARE TO COMPLY WITH THE NCC VOLUME 2 2022.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- FLOOR PLAN DIMENSIONS ARE TO FRAME.
- INTERNAL ELEVATION DIMENSIONS ARE TO PLASTERBOARD.
- THERE ARE NO ATYPICAL DESIGN FEATURES THAT PRESENT UNUSUAL WORKPLACE HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE, OR DEMOLITION OF THIS STRUCTURE.

#### SITE & EARTHWORKS

- SITE PREPARATION & BATTERS TO COMPLY WITH ENGINEER'S SPECIFICATIONS.
- ALL LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR.
- STORMWATER FROM ROOF TO BE CONNECTED TO LEGAL POINT OF DISCHARGE AS PER SITE PLAN. WHERE DISCHARGE IS TO KERB, AN APPROVED ADAPTOR MUST BE USED.

#### TERMITE

- TERMITE PROTECTION INSTALLED IN ACCORDANCE WITH AS3660.1.

#### SLAB & FOOTINGS

- CONCRETE SLAB, PIERS AND REINFORCING TO COMPLY WITH ENGINEERS DESIGN AND SPECIFICATIONS.
- VAPOUR BARRIER AND DAMP-PROOFING ON A MINIMUM 50mm SAND FILL UNDER HOUSE SLAB (QLD - MEDIUM IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3, ITEM 'A' OF AS2870) (NSW - HIGH IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3 ITEM 'B' & 'C' OF AS2870).

#### FRAMING

- ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH NCC H1D6 & TO COMPLY WITH AS1684.2-2021 (N2/N3/N4 WIND RATING AREAS) & AS1684.3-2021 (C1/C2 WIND RATING AREAS).
- PREFAB. TIMBER ROOF TRUSSES @ 600mm MAX. CENTRES TO MANUFACTURER'S SPECIFICATIONS.
- ALL BRACING, FIXING & TIEDOWN REQUIREMENTS TO COMPLY WITH ENGINEER'S DESIGN AND SPECIFICATIONS.

#### ROOF & WALL CLADDING

- BRICK VENEER WALLS TO COMPLY WITH NCC H1D1 & MUST COMPLY WITH AS4773.1, AS4773.2 & AS3700.
- ALL EAVE SHEETS AND FIBRE CEMENT LININGS MUST COMPLY WITH AS2908.2.
- PLASTERBOARD TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
- ROOF AND WALL CLADDING TO BE IN ACCORDANCE WITH NCC H2D6 & MUST COMPLY WITH THE FOLLOWING STANDARD WHEN APPLICABLE (SHEET ROOF:AS1562.1 / ROOF TILING:AS2050 / AAC:AS5146.1 / HARDBOARD:AS1859.4).
- ALL FLASHINGS MUST COMPLY WITH AS2904.
- ALL SARKING MUST COMPLY WITH AS4200.1.

#### GLAZING

- WINDOWS TO COMPLY WITH NCC N5P2 & PART 11.3.7 & 11.3.8 OF THE ABCB HOUSING PROVISIONS.
- GLAZING TO BE IN ACCORDANCE WITH NCC H1D8 & MUST COMPLY WITH AS1288 & AS2047.

#### WATER PROOFING

- WATER PROOFING IS TO BE IN ACCORDANCE WITH NCC H4D1 & PART 10.2 OF THE ABCB HOUSING PROVISIONS.
- WHERE FLOOR WASTES ARE PROVIDED, FLOOR GRADES ARE MINIMUM 1:80 AND MAXIMUM 1:50 IN ACCORDANCE WITH PART 10.2.12 OF THE ABCB HOUSING PROVISIONS.
- EXTERNAL WATERPROOFING TO BE IN ACCORDANCE WITH NCC PART H2D8 & MUST COMPLY WITH AS4654.1 & AS4654.2.
- TILED WET AREA FLOORS AND SHOWER FLOORS WHERE A 'FLOOR WASTE' IS REQUIRED, WILL GENERALLY REQUIRE TILES TO BE DIAGONALLY CUT TO ACHIEVE COMPLIANT FALLS.

#### VENTILATION

- EXHAUST FAN TO WC (WHEN APPLICABLE) TO COMPLY WITH NCC H4D9 & AS1668.2.
- EXHAUST FANS, RANGEHOODS, COMBINATION EXHAUST FANS ARE DUCTED EXTERNALLY AT A MINIMUM RATE IN ACCORDANCE WITH NCC H4P7 & PART 10.8 OF THE ABCB HOUSING PROVISIONS.

#### STAIRS & BALUSTRADE (WHEN APPLICABLE)

- ALL STAIRS, BARRIERS, BALUSTRADES & HANDRAILS TO BE IN ACCORDANCE WITH NCC H5 & PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS1170.1 & AS4586.

#### OTHER

- PASSAGE DOORS TO SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH NCC H4F3 PART 10.4.2 OF THE ABCB HOUSING PROVISIONS.
- BUILT TO BOUNDARY WALLS TO BE BUILT IN ACCORDANCE WITH NCC H3D1 AND PARTS 9.1 TO 9.3 OF THE ABCB HOUSING PROVISIONS & AS1530. SEPARATING & EXTERNAL WALLS TO BE BUILT TO FRL 60/60/60 (WHERE APPLICABLE).
- PROVIDE MINIMUM 115mm SLOTTED GUTTER TO SUIT MAX 40m2 OF ROOF AREA PER DOWNPIPE.
- SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC H3D6 & PART 9.5 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS3786 & AS1670.1.
- FLUES FOR ALL FIREPLACES & HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND PART 12.4 OF THE ABCB HOUSING PROVISIONS.

#### STEEL FRAMING (WHEN APPLICABLE)

- ALL STEEL FRAMING TO BE IN ACCORDANCE WITH NCC H1P1 & TO COMPLY WITH AS4100-2020, AS4055-2021, AS1170.0-2002, AS 1170.1-2002 & AS/NZS 4600-2018.
- PREFAB. STEEL ROOF TRUSSES @ 1200mm CENTERS FOR SHEET ROOF & 600mm CENTERS FOR TILED ROOF UP TO N2/N3.
- PREFAB. STEEL ROOF TRUSSES 600mm CENTERS FOR SHEET ROOF UP TO N4.
- PREFAB. STEEL ROOF TRUSSES 600mm CENTERS FOR TILED ROOF UP TO N2/N3.
- INTERNAL & EXTERNAL TRUSS & INTERMEDIATE CEILING JOISTS ARE TO BE SPACED @MAX 600mm CENTERS.

NEW SOUTH WALES DEVELOPMENT CODE TRANSPORT NOISE CORRIDOR CATEGORY 2 APPLIES REFER TO SITE SPECIFIC REPORT

#### CLIENT

K. J. SHARAN & S. W. WISE

#### ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

#### DESIGN

BOSTON 38

#### FACADE

HAMPTONS BALCONY

#### PLAN

COVER PAGE

#### REVISION SCHEDULE

DATE	REV	DRW	CHK
16/09/2022	CONTRACT	PG09	CSD
17/04/2023	VO3	KTR	
03/05/2023	VO2	CHO	
19/05/2023	VO4	CHO	
29/05/2023	VO5	KCE	
01/06/2023	BASIX	TSM	
16/06/2023	PERMITS	CDR	
04/07/2023	VO6	CLA	
25/07/2023	VO7	NPA	
23/10/2023	VO10	CLA	
21/11/2023	VO10AMD	SCD	
31/01/2024	VO12	CHO	
02/02/2024	MOCK HOME AREA REDUCTION	CLA	
09/02/2024	VO13	TSM	CDR
29/02/2024	PERMITS	TSM	
13/03/2024	BASIX	RBR	

#### BUILDING AREA

SYDNEY

#### DESIGNER SPECIFICATION

#### FINAL SIGNED COPY

I / WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDED PRELIM PLANS & I / WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

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REV:	BASIX
DATE:	13/03/2024
REF:	34958
SCALE:	NTS
SHEET NUMBER:	01 of 17

N2

APPROX. POSITION OF FUTURE POOL BY OWNERS. EXCAVATION TO BE MIN. 1800mm FROM HOUSE FOUNDATIONS. TO BE INSTALLED AFTER SITE CUT OF HOUSE. OWNER TO PROVIDE A POOL COMPLIANT STRUCTURAL PLATFORM SUITABLE FOR USE AS A WORK PLATFORM OVER THE ENTIRE POOL FOR THE ENTIRE DURATION OF CONSTRUCTION. KEEP ALL PIPES CLEAR. (NOT PART OF THIS APPLICATION)

LANDSCAPE AREA (BY OWNER) (MIN.159m2)

CONCRETE SLEEPER RETAINING WALL AS NOMINATED BY OWNER. SUBJECT TO ENGINEERS DETAILS & LOCAL AUTHORITY RESTRICTIONS.  
-300H AT MAX. CUT POINT BASED ON APPROX. 869 FROM INSIDE FACE OF WALL TO BRICKWORK (A)  
-APPROX. 350 FROM INSIDE FACE OF WALL TO BOUNDARY (B)  
-ALL WORKS BY OWNER.  
(NOT PART OF THIS APPLICATION)  
PLEASE NOTE: RETAINING WALL HEIGHTS TO BE CONFIRMED BY OWNER AFTER SITE CUT. PLEASE NOTE: SHOULD DISTANCE (A) BE REDUCED DUE TO THE STRUCTURAL THICKNESS OF THE WALL ETC. ALL ADDITIONAL SITE MANAGEMENT COSTS WILL BE CHARGED TO OWNER BY WAY OF VARIATION TO CONTRACT.

BUILDING ENVELOPE

CONCRETE SLEEPER RETAINING WALL AS NOMINATED BY OWNER. SUBJECT TO ENGINEERS DETAILS & LOCAL AUTHORITY RESTRICTIONS.  
-600H AT MAX. FILL POINT BASED ON APPROX. 969 FROM INSIDE FACE OF WALL TO BRICKWORK (A)  
-APPROX. 250 FROM INSIDE FACE OF WALL TO BOUNDARY (B)  
-ALL WORKS BY OWNER.  
(NOT PART OF THIS APPLICATION)  
PLEASE NOTE: RETAINING WALL HEIGHTS TO BE CONFIRMED BY OWNER AFTER SITE CUT. PLEASE NOTE: SHOULD DISTANCE (A) BE REDUCED DUE TO THE STRUCTURAL THICKNESS OF THE WALL ETC. ALL ADDITIONAL SITE MANAGEMENT COSTS WILL BE CHARGED TO OWNER BY WAY OF VARIATION TO CONTRACT.

SEWER LINE LOCATION  
CAPPED SEWER CONNECTION POINT

HENDY

BENCHMARK  
NAIL IN TOP KER  
R.L. = 17.88

DP 25715<sup>3</sup>

DP 25715<sup>2</sup>

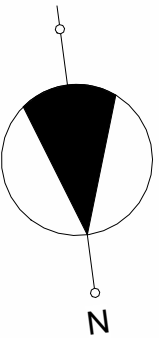
DP 25715<sup>2</sup>

DP 26037<sup>31</sup>

PROPOSED RESIDENCE

AVENUE

PROVIDE AND MAINTAIN SEDIMENT CONTROL DEVICES IN ACCORDANCE WITH COUNCIL'S DCP PART E1 - DEMOLITION AND CONSTRUCTION, AND AROUND INLET PITS AND SOIL STOCKPILE. REFER DETAILS SHEET 3.  
\*DO NOT STOCK PILE MATERIALS ON PUBLIC FOOTWAYS AND ROADWAYS.  
\*REMOVE ALL SOIL & OTHER MATERIALS WHICH HAVE BEEN SPILT ONTO PUBLIC FOOTWAYS, GUTTERS & ROADWAYS WITH A SHOVEL AND BROOM AT THE END OF EACH DAYS WORK.  
\*PROVIDE TOPSOIL & RE-TURF ALL DISTURBED OR DAMAGED GRASS AREAS.



NOTE: - SEDIMENT FENCE TO OUTSIDE OF FILL

NOTE: - SEDIMENT FENCE

NOTE: - DENOTES 250 X 250 SURFACE WATER GRATE CONNECTED TO SEPARATE STORMWATER PIPE  
SWG

NOTE: - DENOTES 100mm DIA P.V.C STORMWATER PIPE

NOTE: - EARTHERN SPOON DRAIN

NOTE: - USE TEMPORARY DOWNPIPES

NOTE: - TEMPORARY FENCING

NOTE: - CLAMP ON TEMP. FENCING

NOTE: - SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN

NOTE: - PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.

NOTE: - ROOF WATER CATCHMENT AREA

3000L STEEL SLIMLINE ABOVE GROUND WATER TANK. 1 x DROPPER'S 4 x DOWNPIPE'S COLLECTING 80 m<sup>2</sup> OF ROOF WATER INTO TANK. TANK OVERFLOW DISCHARGED TO STORMWATER SYSTEM. TANK ON STRUCTURAL CONC. SLAB.

SLEEPER UNDER FENCE BY OWNER

(NOT PART OF THIS APPLICATION)  
PLEASE NOTE: RETAINING WALL HEIGHTS TO BE CONFIRMED BY OWNER AFTER SITE CUT. PLEASE NOTE: SHOULD DISTANCE (A) BE REDUCED DUE TO THE STRUCTURAL THICKNESS OF THE WALL ETC. ALL ADDITIONAL SITE MANAGEMENT COSTS WILL BE CHARGED TO OWNER BY WAY OF VARIATION TO CONTRACT.

AIRCON SLAB FLOOR TRAP CONNECTED TO SURFACE WATER GRATE LINE

COMPACT WALL MOUNTED CLOTHESLINE

FLOOR SPACE RATIO (FSR) = 0.5:1

GROSS FLOOR AREA / SITE AREA = FSR

247.69 m<sup>2</sup> / 495.40 m<sup>2</sup> = 0.50:1

GROSS FLOOR AREA

(MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS; EXCLUDING PORCH, OUTDOOR ROOM, GARAGE & STAIRS VOID)

GROUND FLOOR AREA TOTAL: 247.69 m<sup>2</sup>

GROSS SITE AREA: 495.40 m<sup>2</sup>

LANDSCAPE AREA: 159.00 m<sup>2</sup>

LANDSCAPE PERCENTAGE: 32.10%

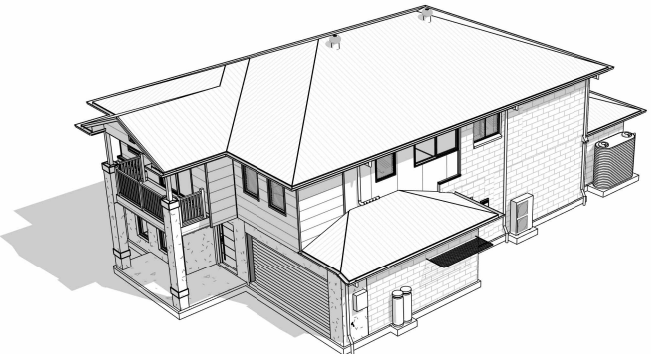
POWER CONNECTION POINT

WATER CONNECTION POINT

COMMS CONNECTION POINT

55 m<sup>2</sup> APPROX. POSITION OF REINFORCED EXTERNAL BROOM FINISHED CONCRETE DRIVEWAY AND PORCH BY CORAL HOMES. ALL WORKS TO SUIT COUNCIL REQUIREMENTS. REFER DETAILS SHEET 3.

TREE TO BE REMOVED BY OWNER  
STORMWATER DISCHARGE TO ROOFWATER OUTLET



CONTOUR

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

SITE

SITE COST OPTION: 16/09/2022

SURVEYOR NO: 22392

### PROPERTY DESCRIPTION

ON: DP 26037

LOCAL AUTH: CANTERBURY BANKSTOWN CITY COUNCIL

### AREAS

LAND 495.4 m<sup>2</sup> SITE COVERAGE 40.43%

### SITEWORKS

NOTE: PLATFORM HEIGHT & RETAINING CAN VARY DUE TO SITE CONDITIONS

CUT: 0.52

PAD AHD: 19.030

FILL: 0.58

SLAB AHD: 19.430

CRITICAL PAD LEVEL

☒ NO ☐ YES

### CONDITIONED AREAS

	Area (m <sup>2</sup> )
CONDITIONED AREA (LOWER)	116.02
UNCONDITIONED AREA (LOWER)	10.79
CONDITIONED AREA (UPPER)	134.85
UNCONDITIONED AREA (UPPER)	5.54

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BUILDERS SIGNATURE

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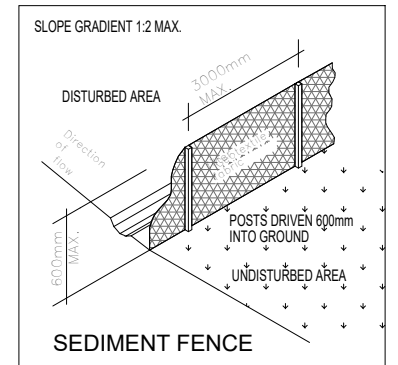
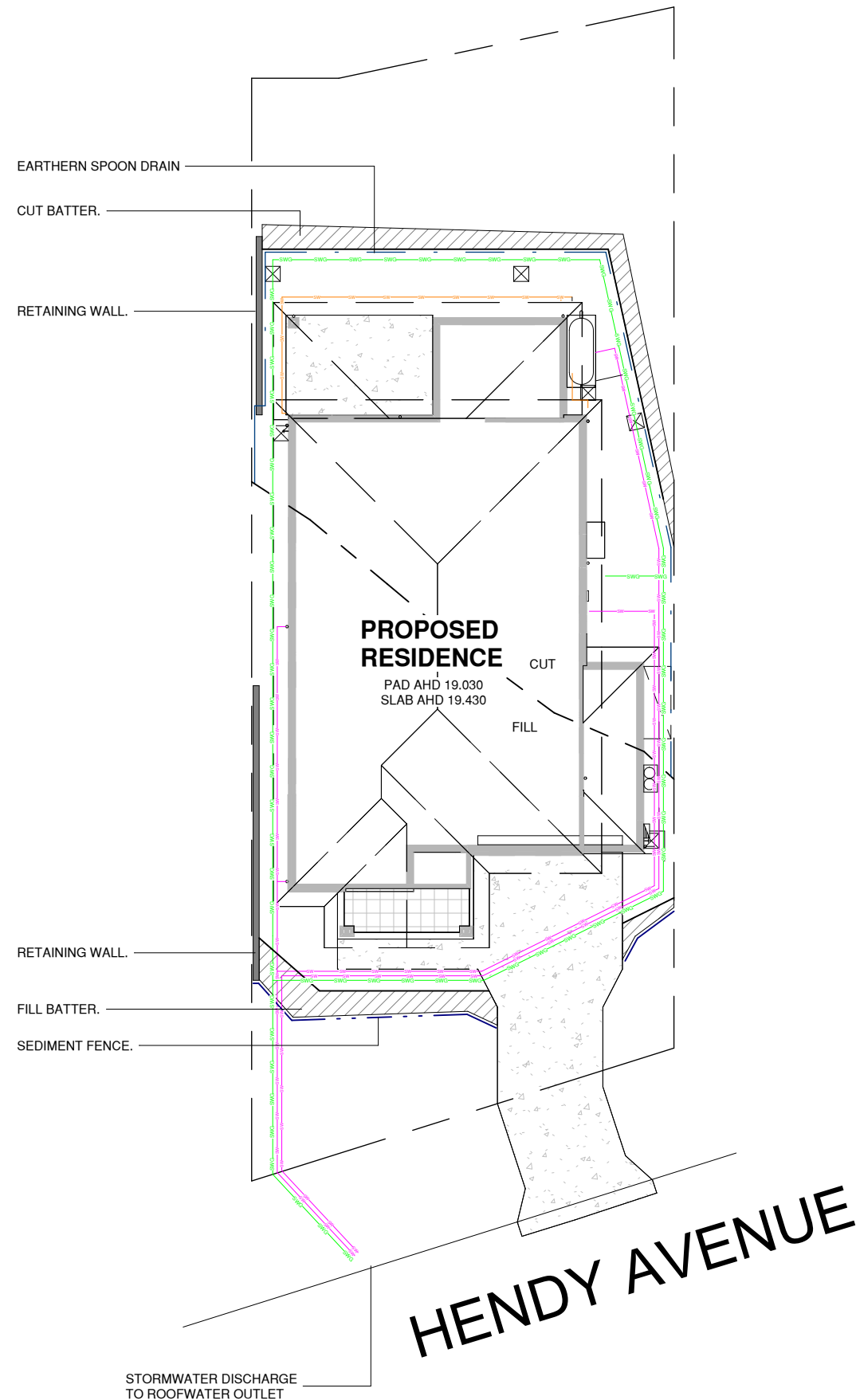
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DATE: 13/03/2024

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SHEET NUMBER: 02 of 17



NOTE: - SEDIMENT FENCE TO OUTSIDE OF FILL

NOTE: - SEDIMENT FENCE

NOTE: - DENOTES 250 X 250 SURFACE WATER GRATE CONNECTED TO SEPARATE STORMWATER PIPE

SWG

NOTE: - DENOTES 100mm DIA P.V.C STORMWATER PIPE

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\*PROVIDE TOPSOIL & RE-TURF ALL DISTURBED OR DAMAGED GRASS AREAS.

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN EROSION & SEDIMENT PLAN

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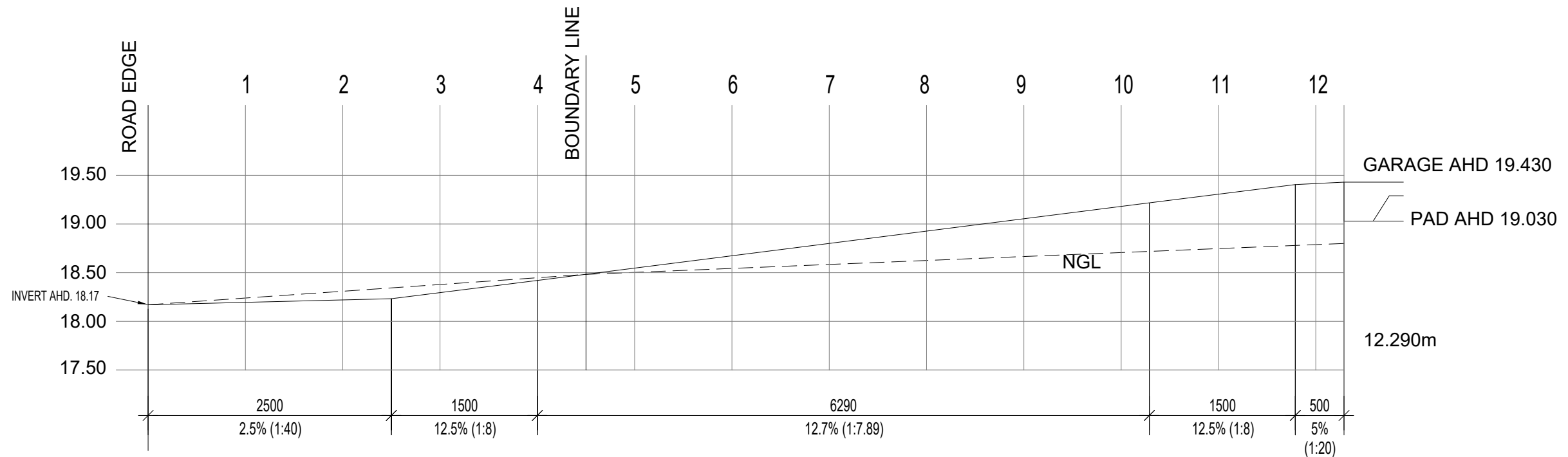
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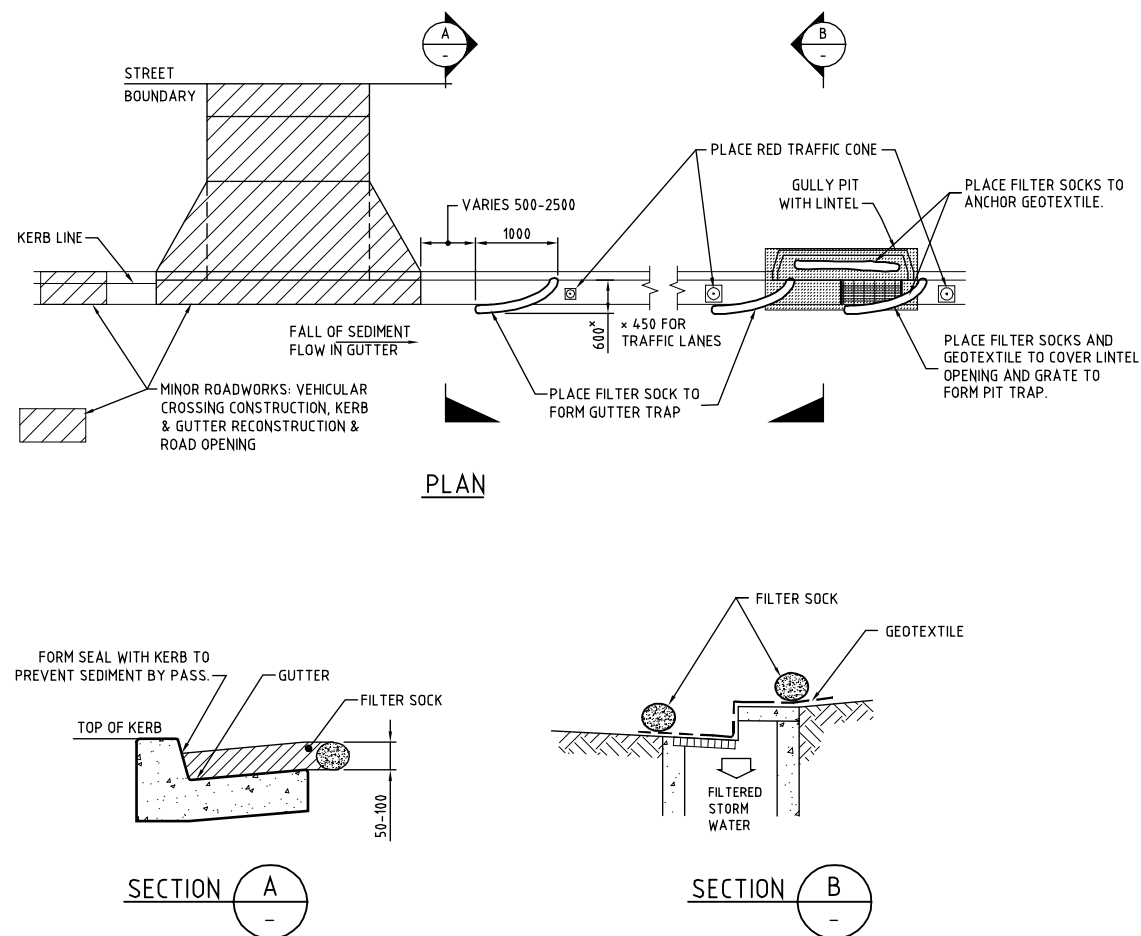
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DRIVEWAY LONGITUDINAL CROSS SECTION

STANDARD SEDIMENT TRAP FOR ROADWORKS



NOTES:

1. SEDIMENT GUTTER AND PIT TRAPS ARE TO BE PLACED AS REQUIRED DOWNSTREAM OF ROADWORKS TO PREVENT POLLUTANTS FROM THE WORKSITE ENTERING THE STREET DRAINAGE SYSTEM.
2. TRAPS TO BE INSTALLED PRIOR TO ANY EXCAVATION OR COMMENCEMENT OF WORK.
3. PLACE ADDITIONAL GUTTER TRAPS IN A ROW IF SEDIMENT IS BYPASSING FIRST TRAP WITH DUE ALLOWANCE FOR PARKING SPACES.
4. PLACE FILTER SOCK AND GEOTEXTILE FULLY OVER PITS IF SEDIMENT IS BY PASSING GUTTER TRAPS.
5. GEOTEXTILE COVERING PITS TO BE NON WOVEN NEEDLE PUNCHED POLLYESTER, UV TREATED EQUIVALENT TO BIDIM A14.
6. SEDIMENT FILTER SOCK FABRIC TO BE NON WOVEN NEEDLE PUNCHED POLYESTER, UV TREATED EQUIVALENT TO BIDIM A44.
7. FILTER SOCKS TO BE FILLED WITH COARSE SAND OR GRAVEL TO ALLOW FLOW THROUGH THE FILLED SOCK.
8. TRAPPED SEDIMENT IS TO BE CLEANED OUT REGULARLY BY SHOVELING & DISPOSED OF.
9. SAND BAGS OR HAY BALES ARE NOT TO BE USED.
10. CONCRETE WASH DOWN AND SEDIMENT IS NOT TO BE PUT IN THE GUTTER OR PITS.
11. SEDIMENTATION AND EROSION CONTROLS ARE TO BE IN ACCORDANCE WITH COUNCIL'S DCP PART E1 DEMOLITION AND CONSTRUCTION.
12. THIS STANDARD IS APPLICABLE TO ALL ROADWORKS SUCH AS VEHICULAR CROSSING CONSTRUCTION, KERB & GUTTER RECONSTRUCTION & ROAD OPENING RESTORATION.
13. ALL DIMENSIONS ARE IN MILLIMETRES.

CLIENT

K. J. SHARAN & S. W. WISE

DESIGN

BOSTON 38

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

FACADE

HAMPTONS BALCONY

PLAN

DRIVEWAY LAYOUT

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PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

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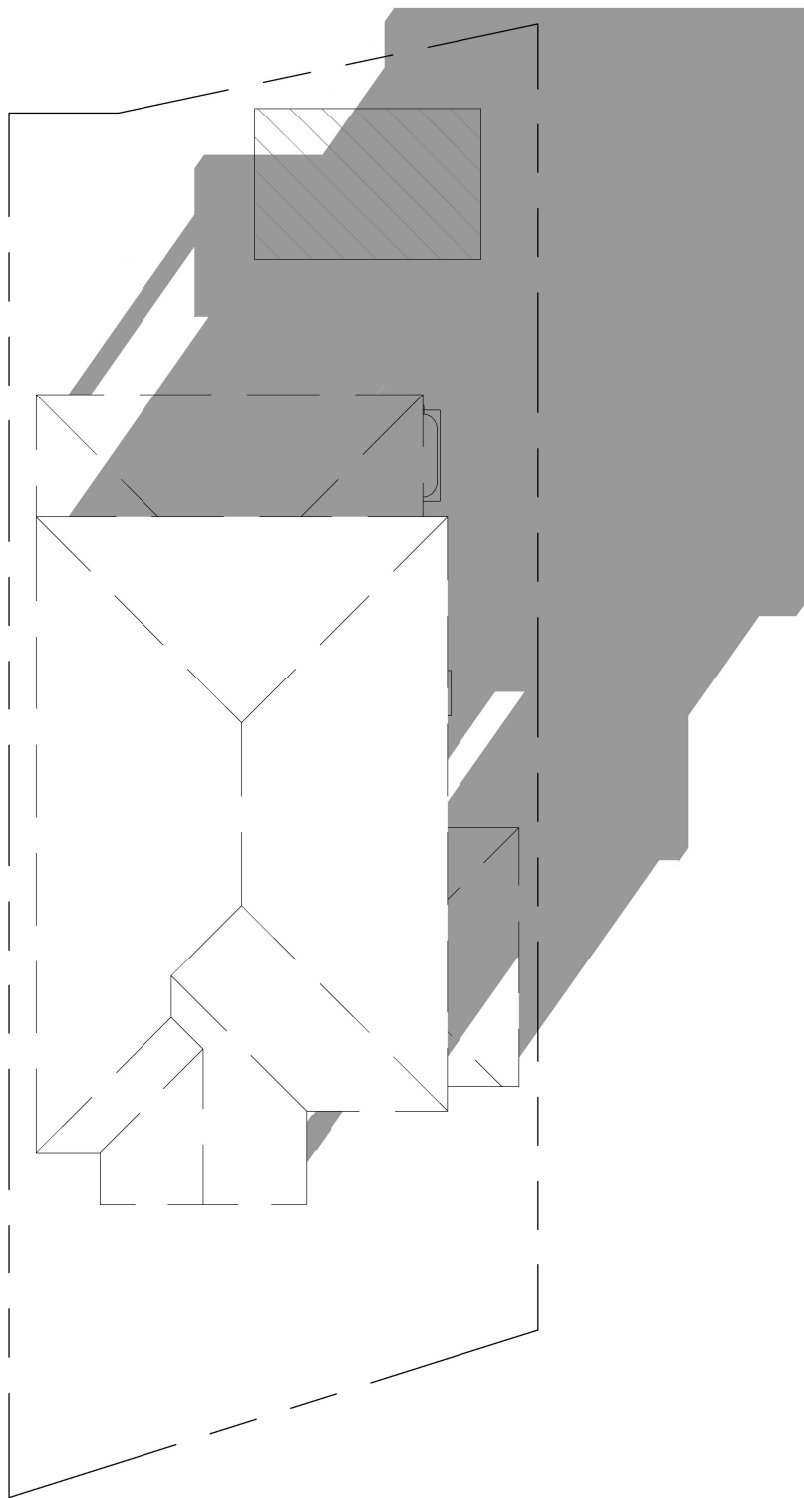
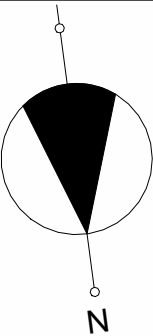
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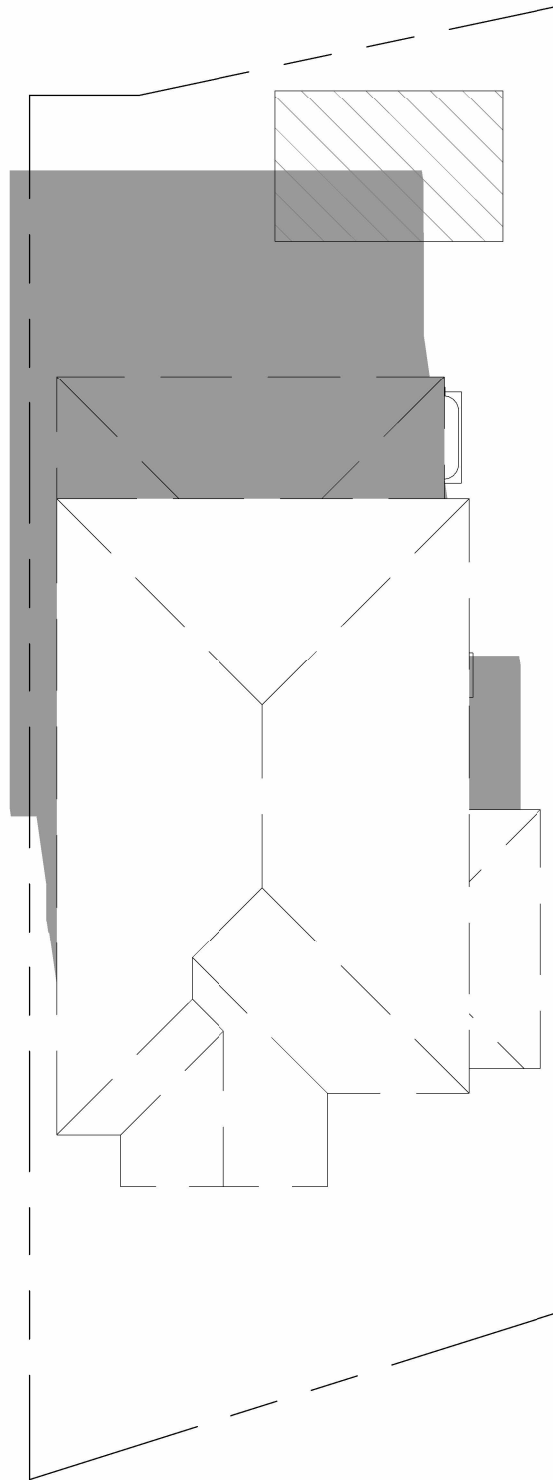
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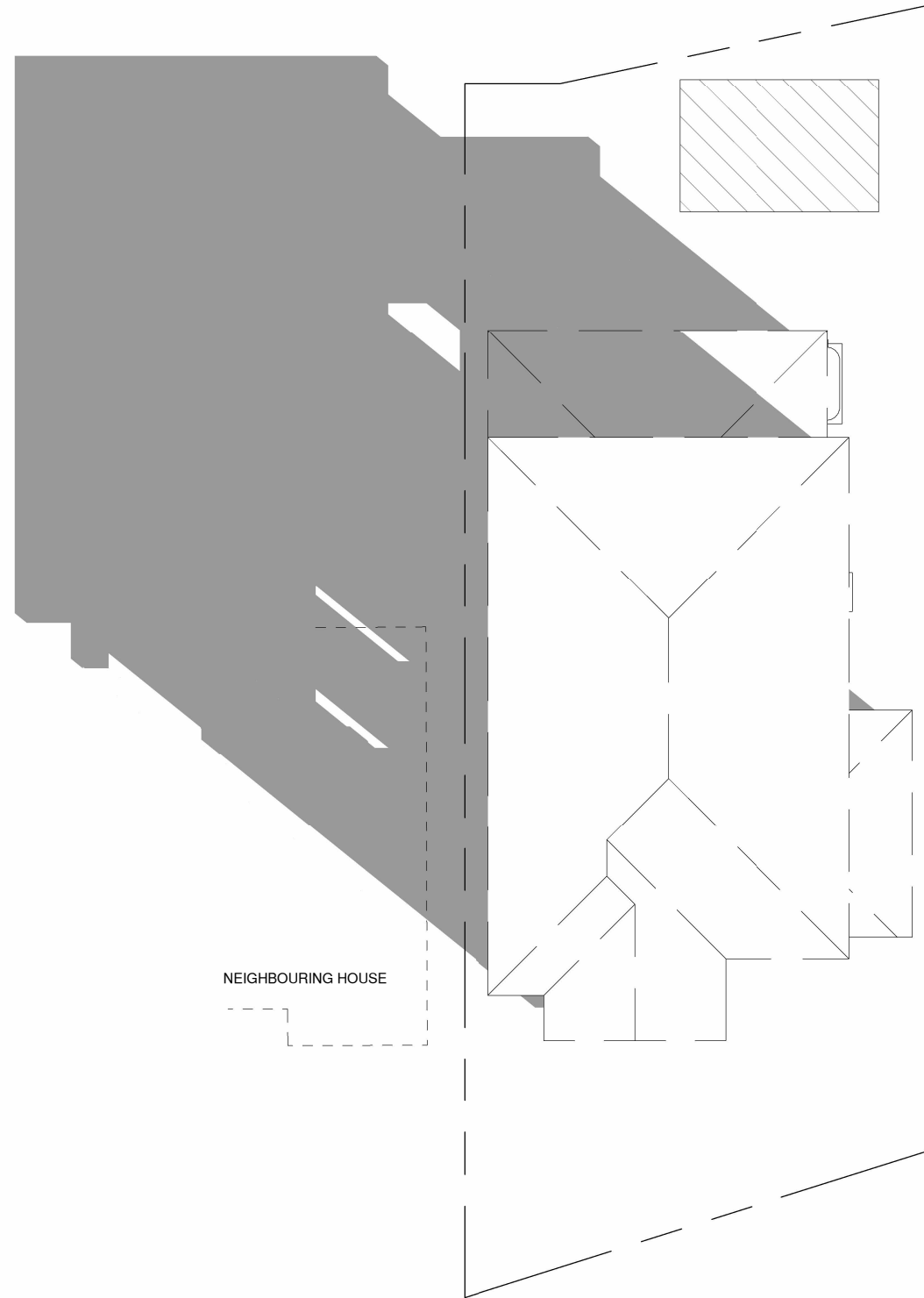
SD - WINTER 9 AM

1 : 200



SD - WINTER 12 PM

1 : 200



SD - WINTER 3 PM

1 : 200

CLIENT

K. J. SHARAN & S. W. WISE

DESIGN

BOSTON 38

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

FACADE

HAMPTONS BALCONY

PLAN

SHADOW DIAGRAM 02

FINAL SIGNED COPY

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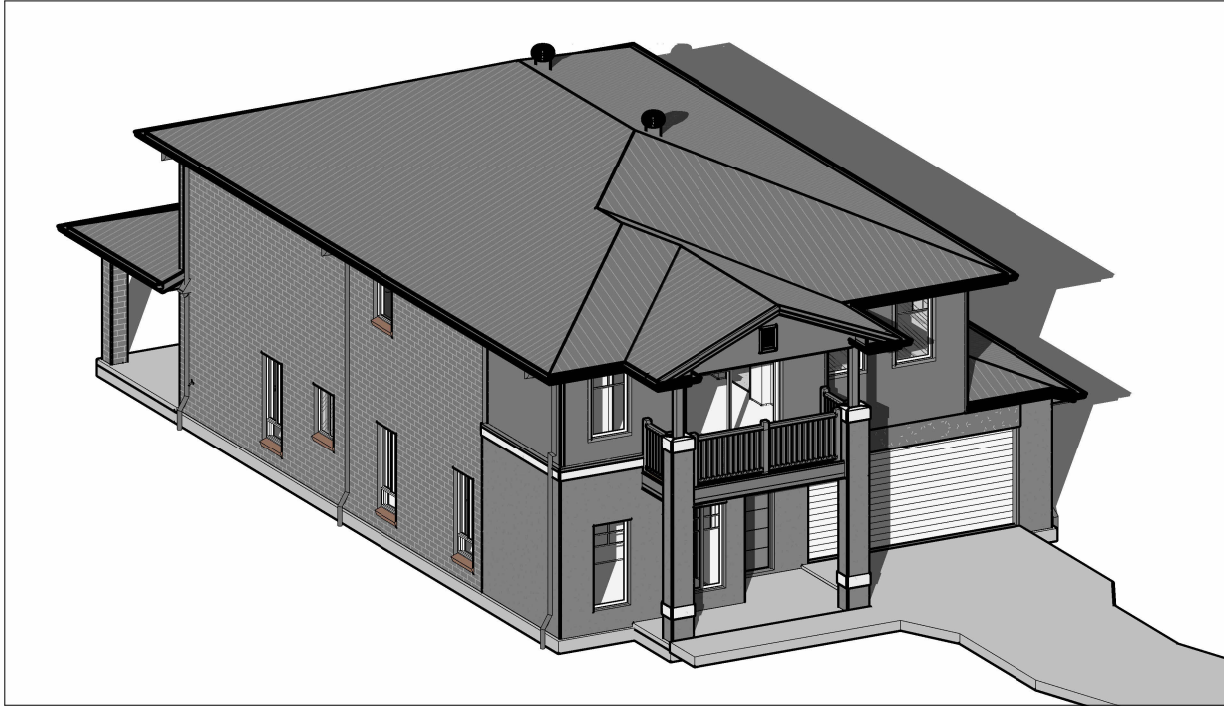
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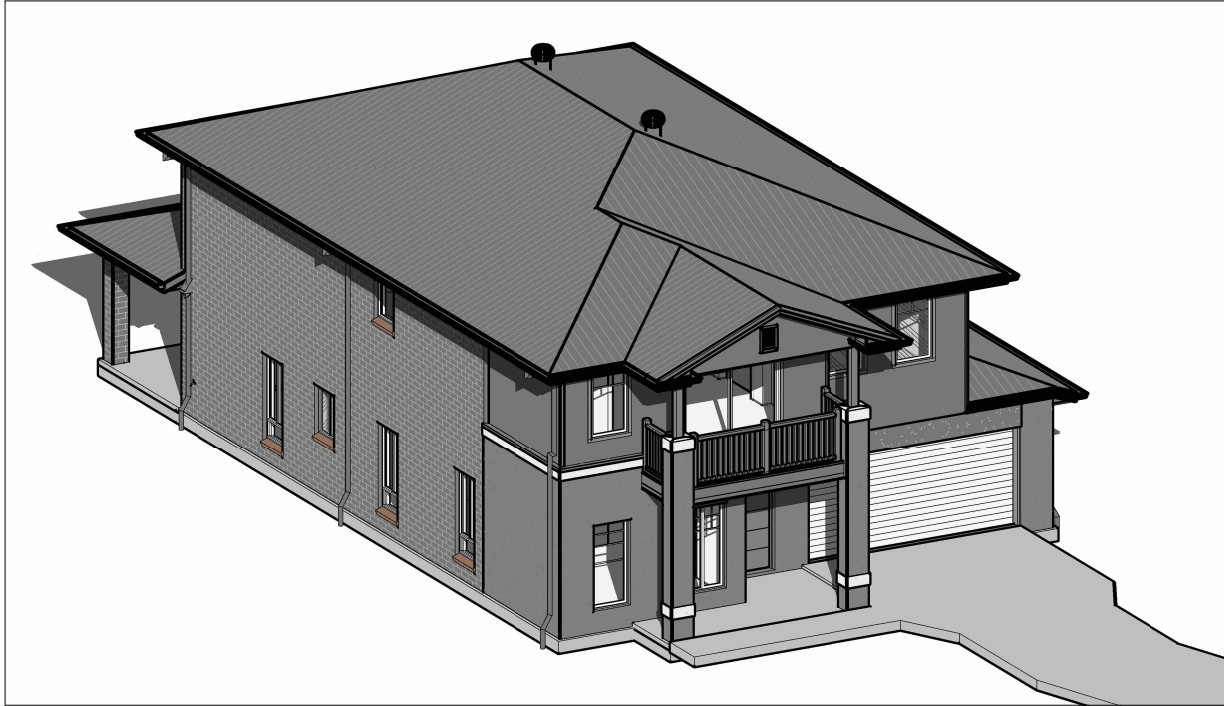
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SCALE: 1 : 200

SHEET NUMBER: 03C of 17



SHADOW WINTER 9AM



SHADOW WINTER 10AM



SHADOW WINTER 11AM



SHADOW WINTER 12AM

CLIENT

K. J. SHARAN & S. W. WISE

DESIGN

BOSTON 38

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

FACADE

HAMPTONS BALCONY

PLAN

SHADOW DIAGRAM 03

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PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

**CORAL HOMES**

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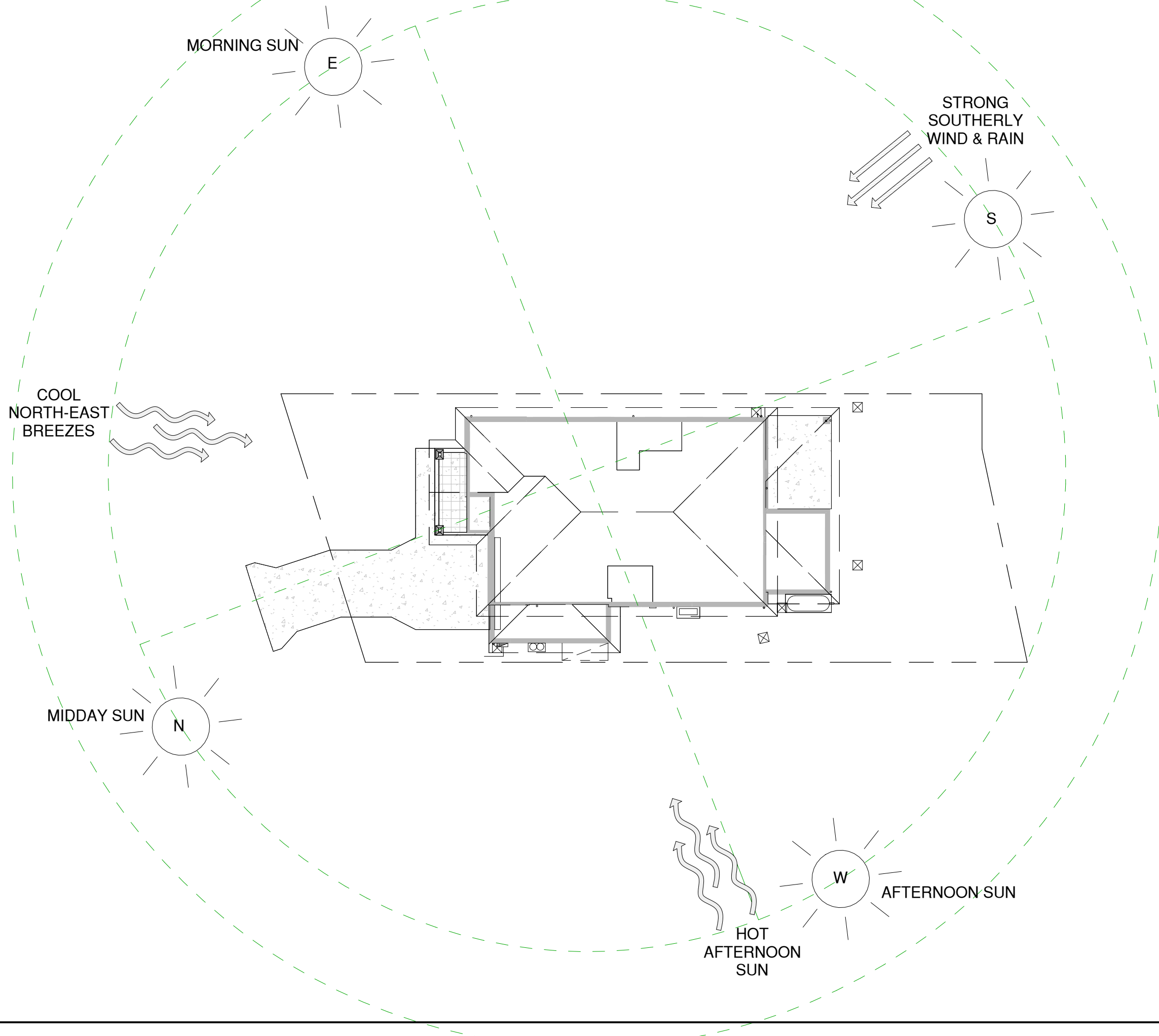
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SCALE:

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CLIENT	
K. J. SHARAN & S. W. WISE	
ADDRESS	
LOT 32 HENDY AVENUE PANANIA NSW 2213	
DESIGN	BOSTON 38
FACADE	HAMPTONS BALCONY
PLAN	SITE ANALYSIS

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PROPRIETOR SIGNATURE	PROPRIETOR SIGNATURE
	
BUILDERS SIGNATURE	

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MINIMUM 6mm GLASS TO ALL WINDOWS & SLIDING DOORS TO SUIT ACOUSTICE REQUIREMENTS

K. J. SHARAN & S. W. WISE

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

AREA SCHEDULE

	Area (m2)
LIVING	138.45
GARAGE	37.10
OUTDOOR LIVING	15.47
PORCH	9.25
	200.27

LIVING (UPPER)	148.59
BALCONY	6.50
	155.09
TOTAL	355.36

PERIMETER SCHEDULE

LOWER LEVEL	61.70 m
UPPER LEVEL	51.76 m

ROOF SCHEDULE

LOWER LEVEL	60.13 m <sup>2</sup>
UPPER LEVEL	202.13 m <sup>2</sup>

GUTTER SCHEDULE

	PER LENGTH
LOWER LEVEL	30.18 m
NOVALINE	48.86 m
FASCIA	
UPPER LEVEL	6.25 m

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PROPRIETOR SIGNATURE PROPRIETOR SIGNATURE

BUILDERS SIGNATURE

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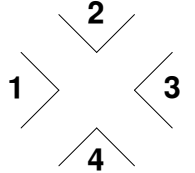
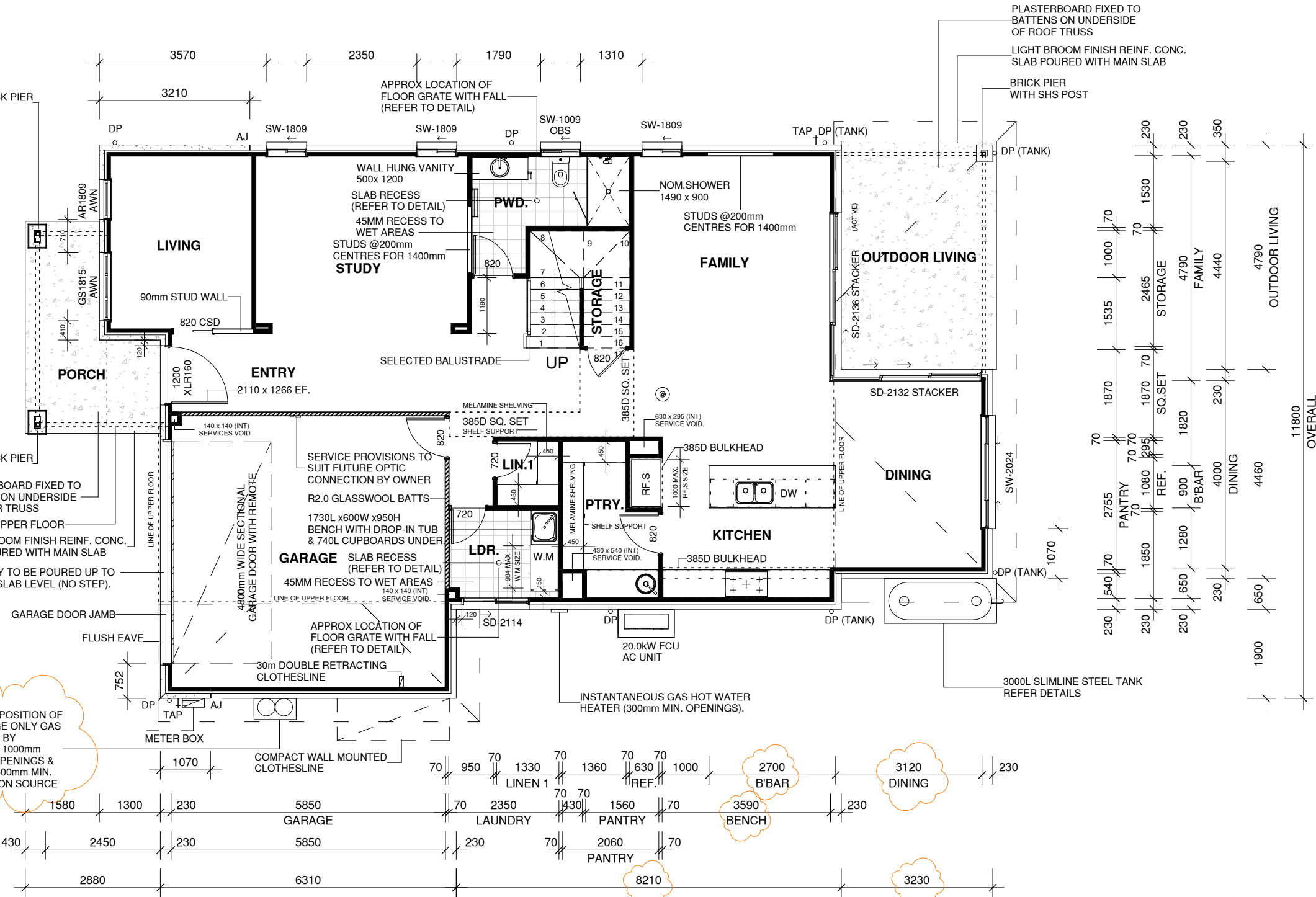
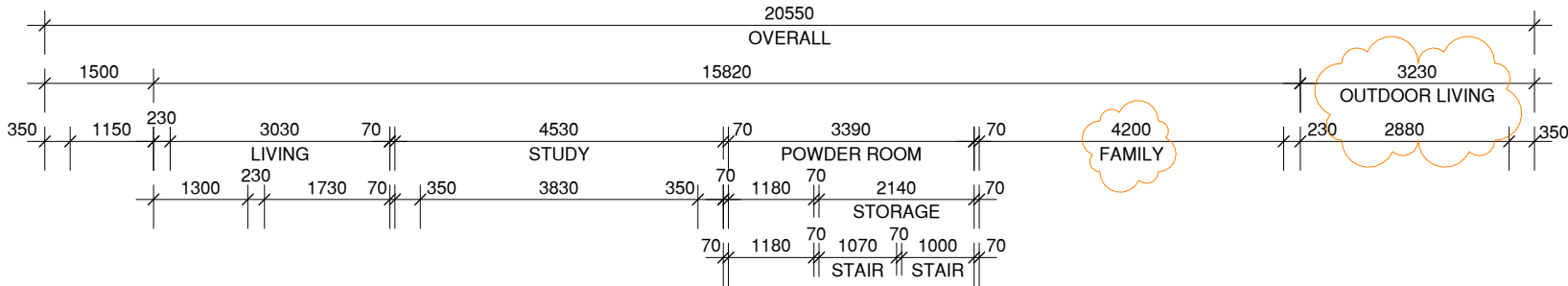
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LEGEND

- RF.S - FRIDGE PROVISION
- WO - WALL OVEN TOWER
- MW - MICROWAVE PROVISION
- DW - DISHWASHER PROVISION
- WM - WASHING MACHINE
- DP - DOWNPIPE
- OBS - OBSCURE GLASS
- AWN - AWNING WINDOW
- FG - FIXED GLASS WINDOW
- DH - DOUBLE HUNG WINDOW
- NBR - NO BOTTOM REVEAL
- CSD - INTERNAL CAVITY SLIDING DOOR
- 2118 - SIZE OF WINDOW OR DOOR (HxW)
- PCJ - PLASTERBOARD CEILING CONTROL JOINT
- MH - MANHOLE

- (Symbol) - LOCATION OF SMOKE ALARM (TO COMPLY WITH B.C.A CLASS 1&10 PART 3.7-2 & WITH A.S 3786)



ELEVATIONS

MINIMUM 6mm GLASS TO ALL WINDOWS & SLIDING DOORS TO SUIT ACOUSTICE REQUIREMENTS

CLIENT  
K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN UPPER FLOOR PLAN

AREA SCHEDULE

	Area (m2)
LIVING	138.45
GARAGE	37.10
OUTDOOR LIVING	15.47
PORCH	9.25
	200.27

LIVING (UPPER)	148.59
BALCONY	6.50
	155.09
TOTAL	355.36

PERIMETER SCHEDULE

LOWER LEVEL	61.70 m
UPPER LEVEL	51.76 m

ROOF SCHEDULE

LOWER LEVEL	60.13 m²
UPPER LEVEL	202.13 m²

GUTTER SCHEDULE

	PER LENGTH
LOWER LEVEL	30.18 m
NOVALINE	48.86 m
FASCIA	
UPPER LEVEL	6.25 m

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PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

CORAL  
HOMES

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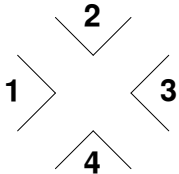
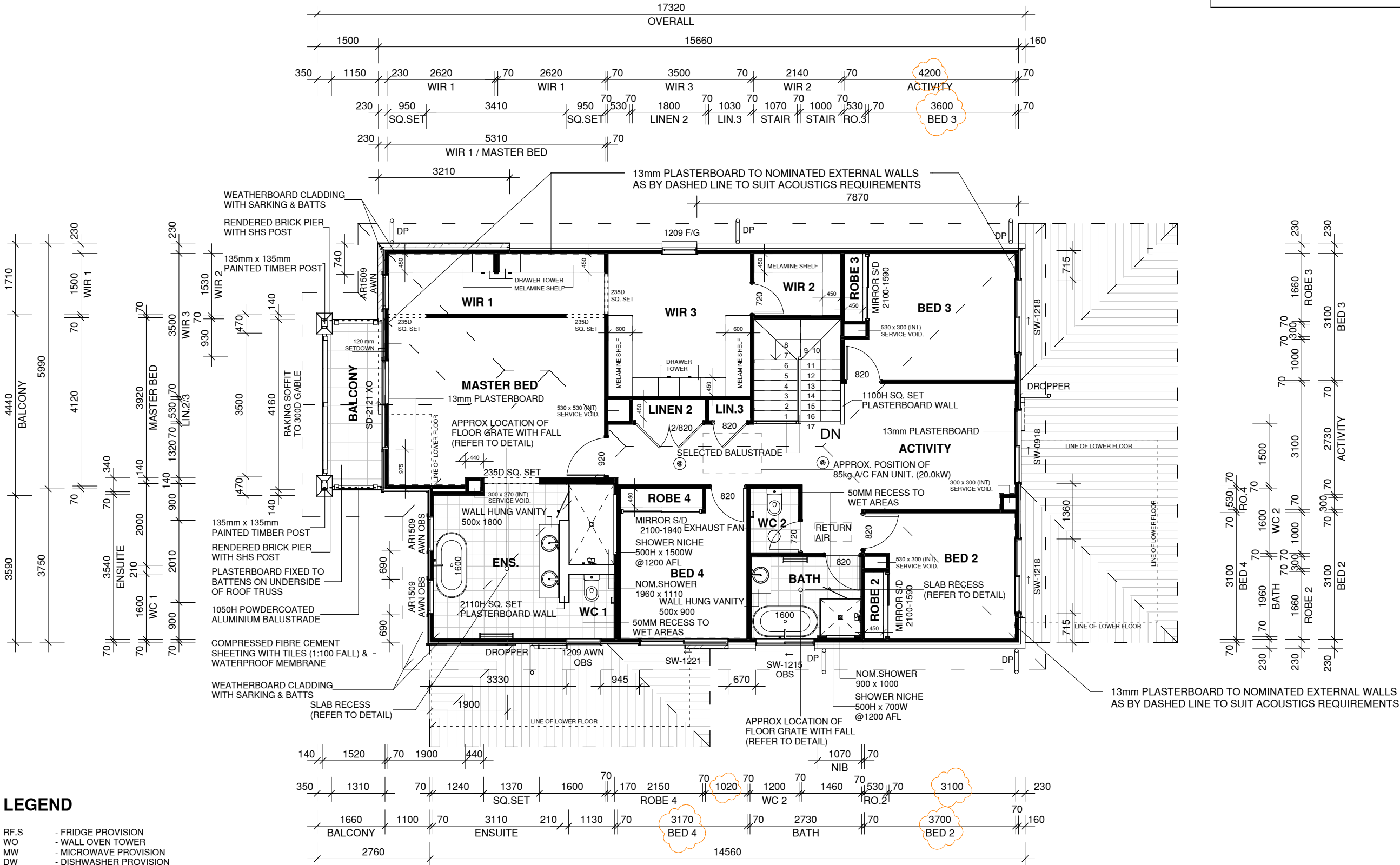
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LEGEND

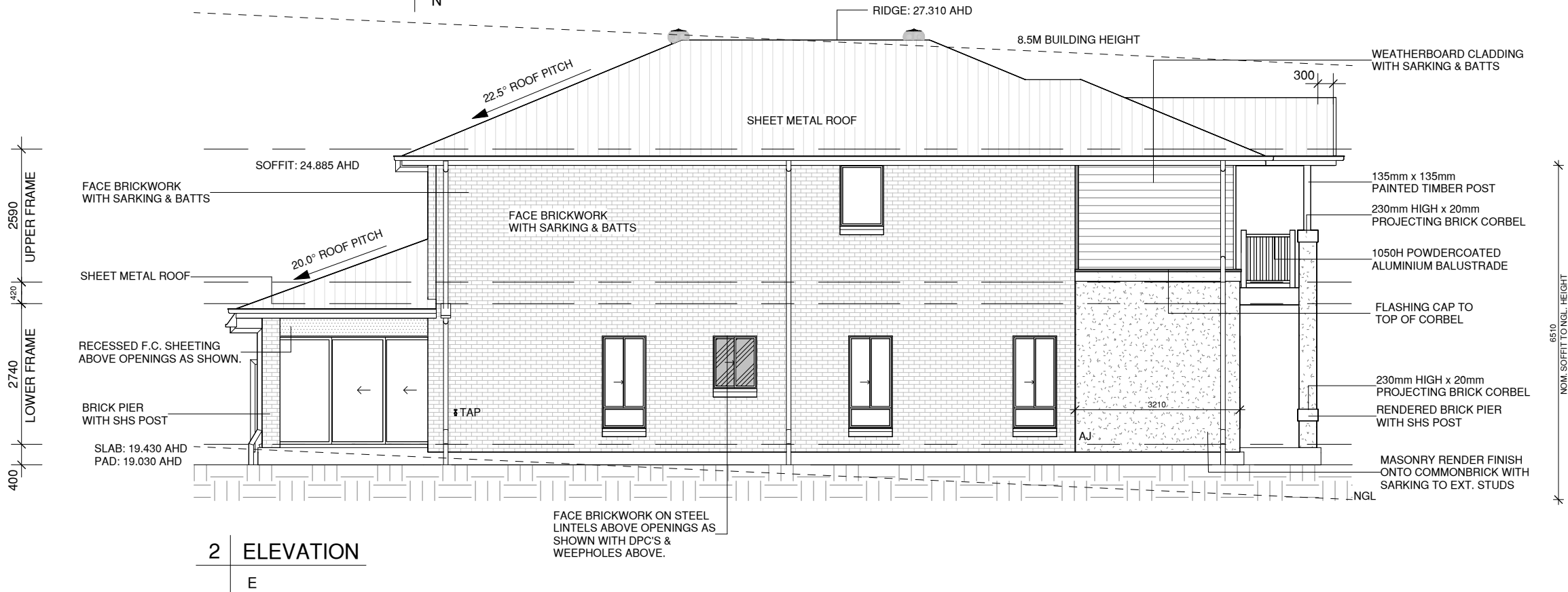
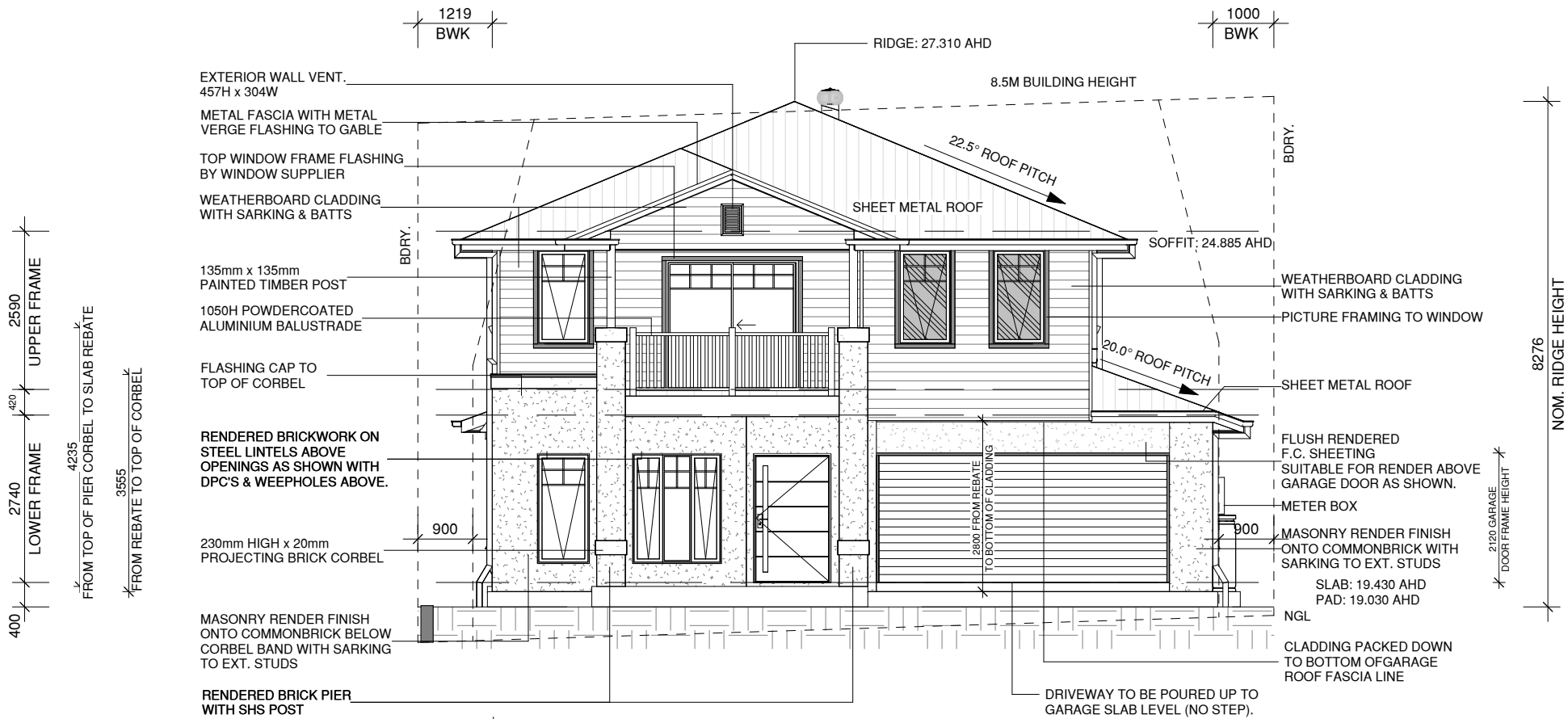
- RF.S - FRIDGE PROVISION
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- MW - MICROWAVE PROVISION
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- CSD - INTERNAL CAVITY SLIDING DOOR
- 2118 - SIZE OF WINDOW OR DOOR (HxW)
- PCJ - PLASTERBOARD CEILING CONTROL JOINT
- MH - MANHOLE

⊙ - LOCATION OF SMOKE ALARM  
(TO COMPLY WITH B.C.A CLASS 1&10  
PART 3.7-2 & WITH A.S 3786)



ELEVATIONS

ALL WINDOWS TO BE RAISED  
FLUSH WITH SOFFIT.



CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

ELEVATION 01

GLASS TYPE LEGEND

- CLEAR
- CLEAR TOUGHENED
- OBS - OBSCURE
- TINT - STANDARD
- TINT - DARK
- CLEAR TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND

- FACE BRICKWORK
- FEATURE BRICKWORK
- RENDERED BRICKWORK
- BAG N PAINT BRICKWORK
- PAINTED FC SHEET
- RENDERED FC SHEET
- AAC PANEL

**NOTE:**  
PATTERNS, SIZE AND SETOUTS  
ARE INDICATIVE ONLY AND ARE NOT  
TO BE USED FOR ANY OTHER PURPOSE

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PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

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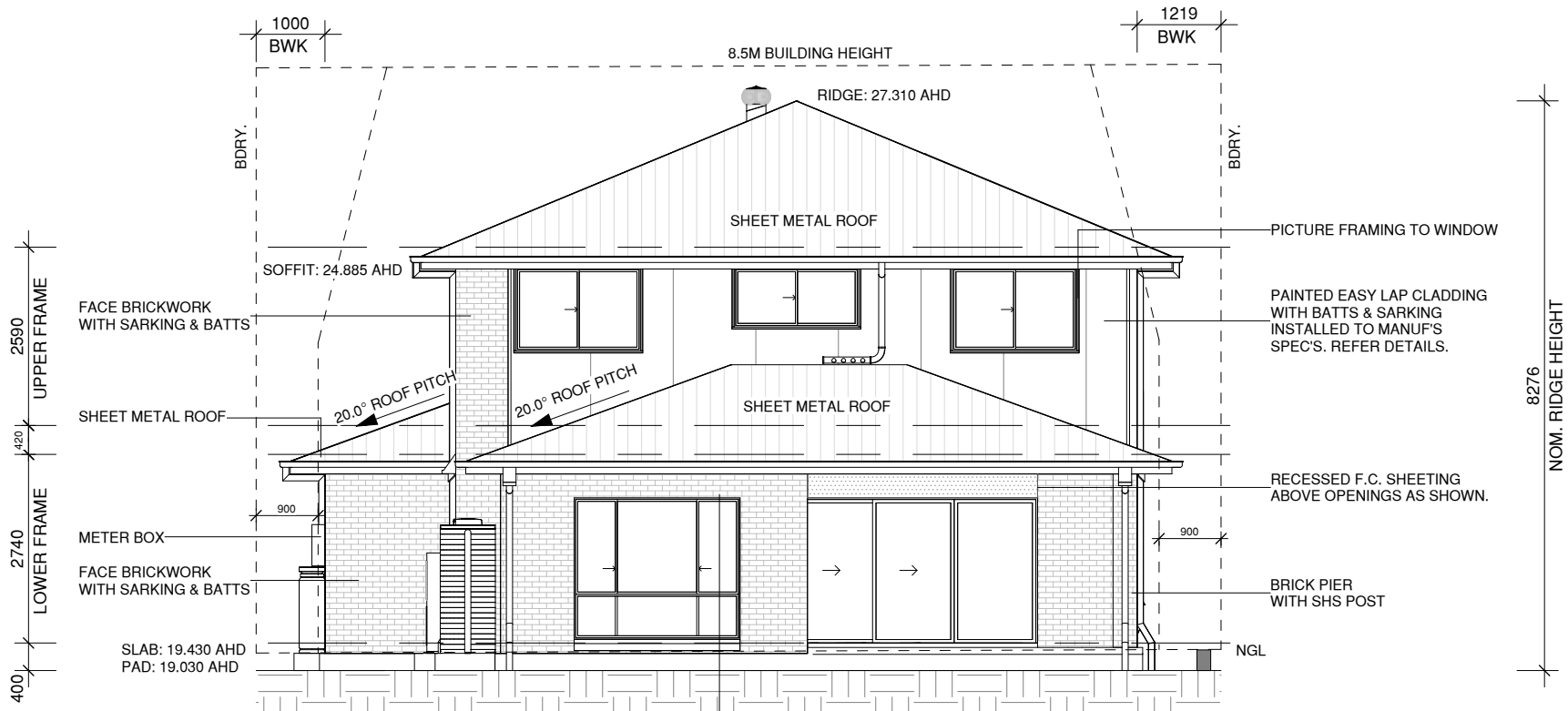
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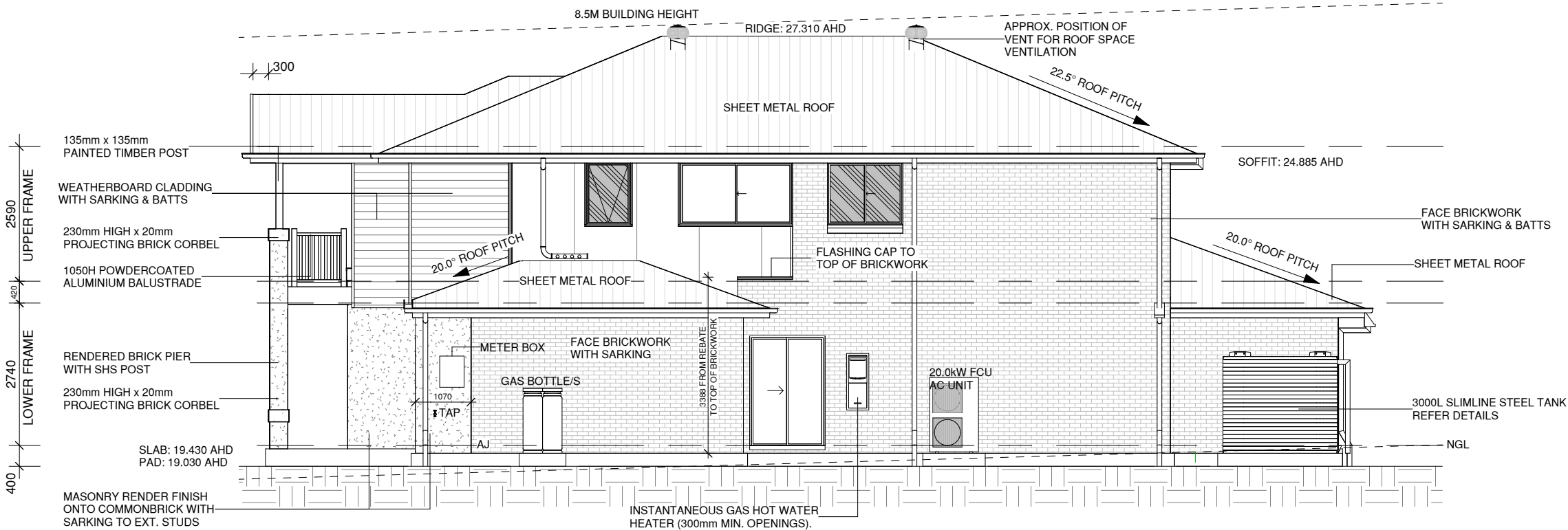


ALL WINDOWS TO BE RAISED  
FLUSH WITH SOFFIT.



3 ELEVATION

S



4 ELEVATION

W

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN ELEVATION 02

GLASS TYPE LEGEND

- CLEAR
- CLEAR TOUGHENED
- OBS - OBSCURE
- TINT - STANDARD
- TINT - DARK
- CLEAR TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND

- FACE BRICKWORK
- FEATURE BRICKWORK
- RENDERED BRICKWORK
- BAG N PAINT BRICKWORK
- PAINTED FC SHEET
- RENDERED FC SHEET
- AAC PANEL

**NOTE:**  
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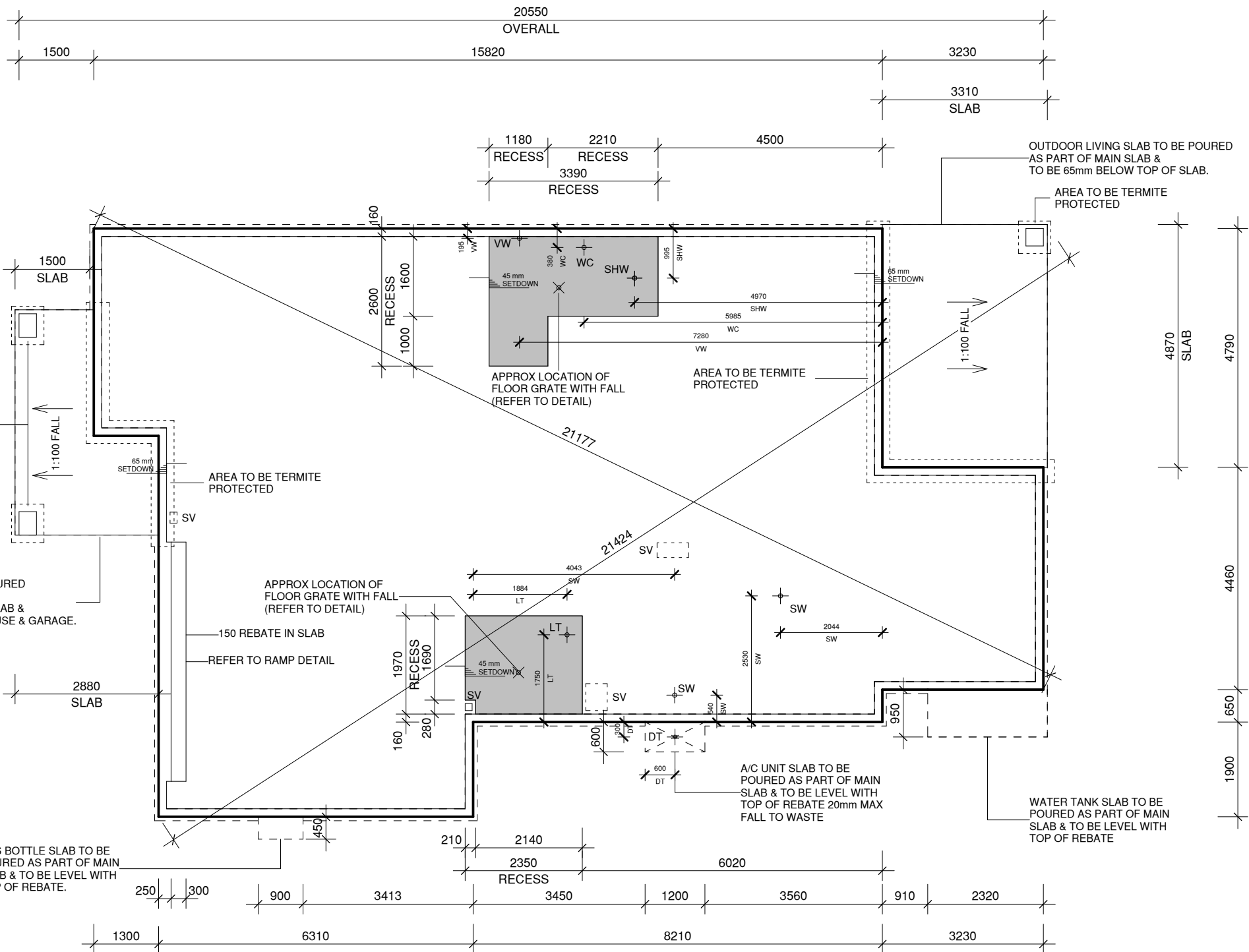
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PROPRIETOR SIGNATURE  
BUILDERS SIGNATURE

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SHEET NUMBER: 07 of 17



SLAB PLAN  
1 : 100

## LEGEND

WC - WC PIPE  
SW - SINK WASTE  
VW - VANITY WASTE  
LT - LDY TUB  
BW - BATH WASTE  
SHW - SHOWER WASTE  
FW - FLOOR WASTE  
DT - DISCONNECTOR TRAP  
SV - SERVICE VOID WASTE  
DROP EDGE BEAM  
BLOCKWORK RETAINING  
LOAD BEARING WALLS

## SLAB LAYOUT

FOOTINGS & SLAB TO BE AS PER ENGINEERS

DESIGN AS INDICATED WITH THE SITE INVESTIGATION

### NOTES:

ALL DIMENSIONS ARE TO **OUTSIDE BRICKWORK**.

ALL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.

### NOTES:

PLUMBING FIXTURE & POST/PIER FOOTING DIMENSIONS ARE TO CENTRE.

DISCONNECTOR GULLIES ARE PROVIDED TO FLOORS OF ENSUITES, BATHROOMS & LAUNDRY WHEN REQUIRED TO ACT AS FIXTURE TRAP. THESE ARE TO BE POSITIONED ACCORDING TO AS3500, KEEPING CLEAR OF ALL STEPS & HOBBS.

## CLIENT

K. J. SHARAN & S. W. WISE

## ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

## DESIGN

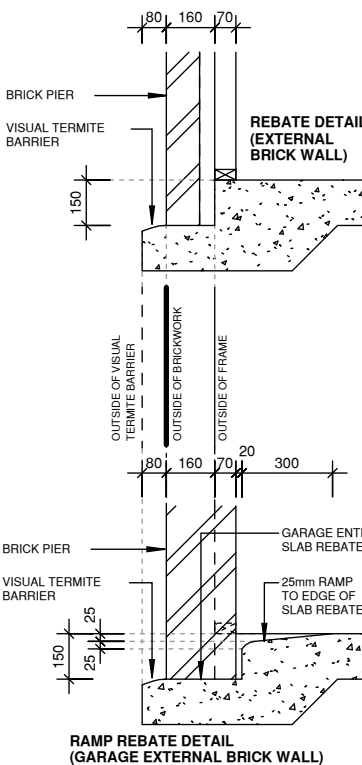
BOSTON 38

## FACADE

HAMPTONS BALCONY

## PLAN

SLAB PLAN



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SIGNATURE

PROPRIETOR  
SIGNATURE

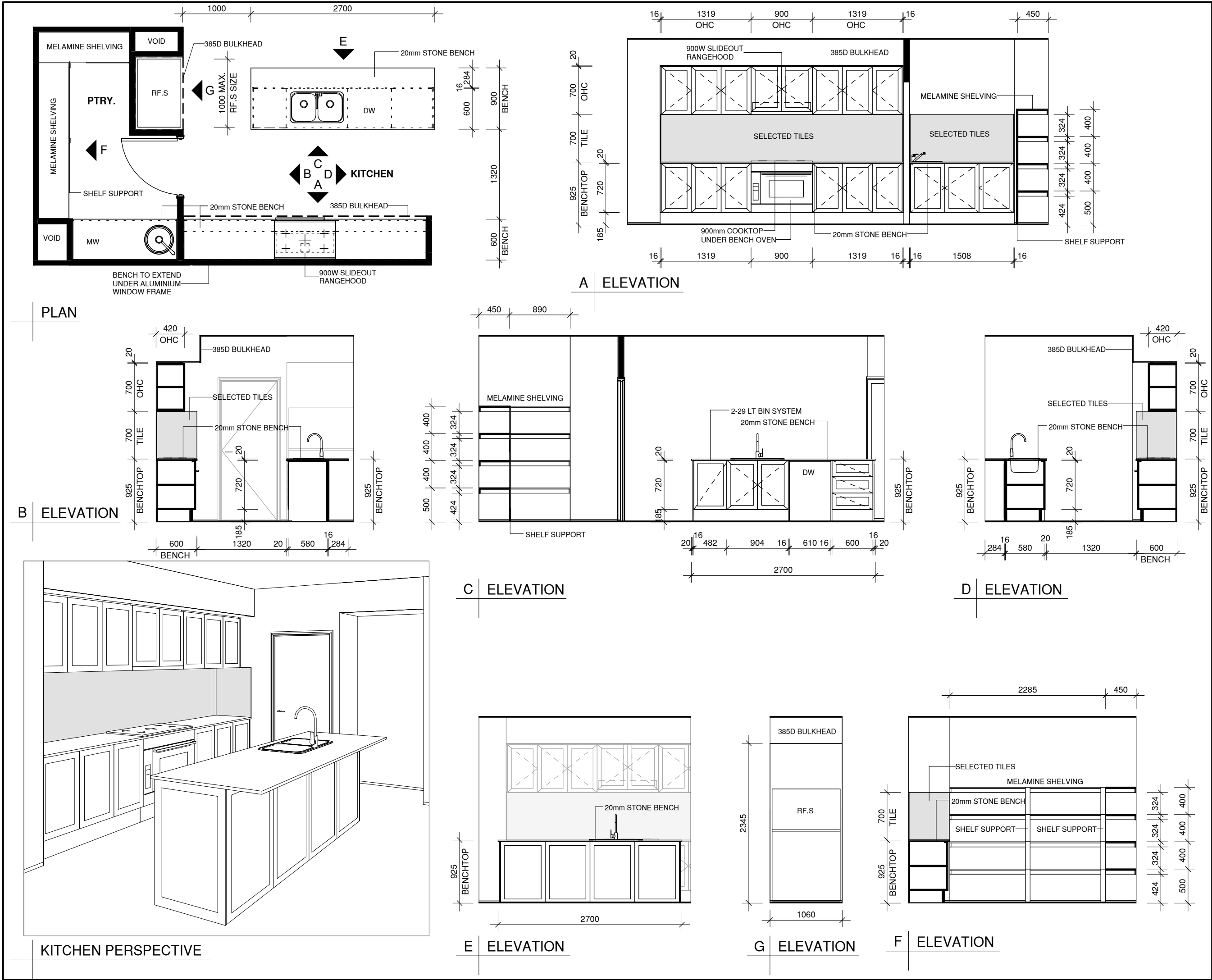
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ADDRESS	LOT 32 HENDY AVENUE PANANIA NSW 2213
DESIGN	BOSTON 38
FACADE	HAMPTONS BALCONY
PLAN	RLS - KITCHEN LAYOUT

#### IMPORTANT INFORMATION

REFER TO WORKING DRAWINGS FOR ALL ROOM DIMENSIONS, ROOM LAYOUT AND WINDOW/DOOR SIZE AND POSITION.

ALL INTERNAL ELEVATIONS DIMENSIONS STATED ARE FROM INSIDE OF WALL LINING (BASED ON 10mm THICK WALL LININGS).

ALL DIMENSIONS ON FLOOR PLAN ARE FROM FRAME.

ALL DIMENSIONS ARE APPROX. ONLY AND MAY VARY DEPENDING ON PRODUCT SELECTION.

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PROPRIETOR SIGNATURE  
PROPRIETOR SIGNATURE  
BUILDERS SIGNATURE

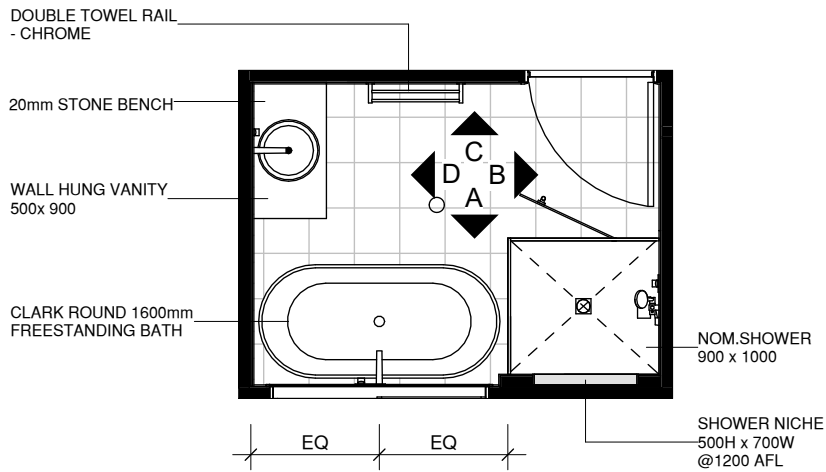
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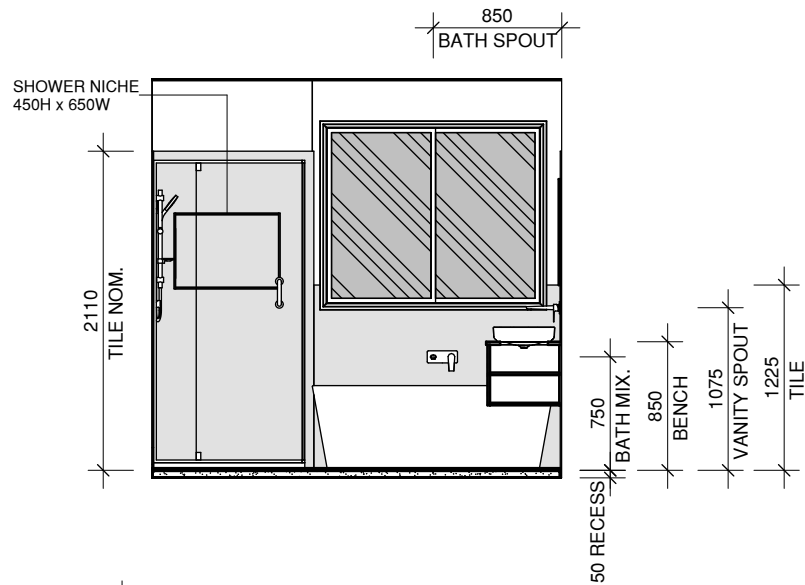
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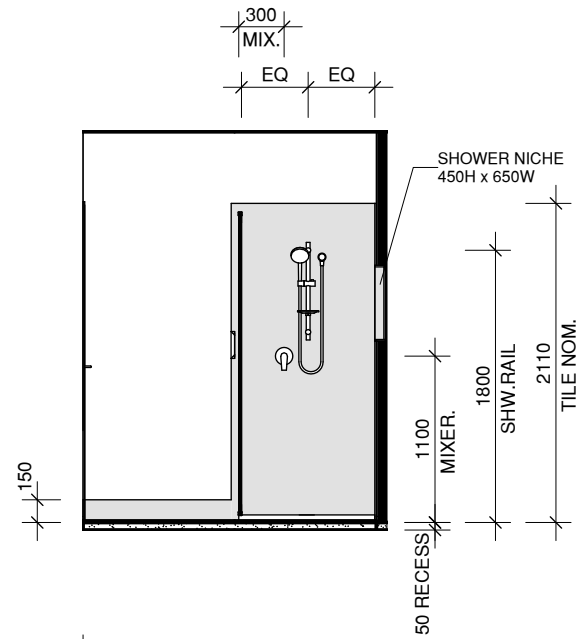




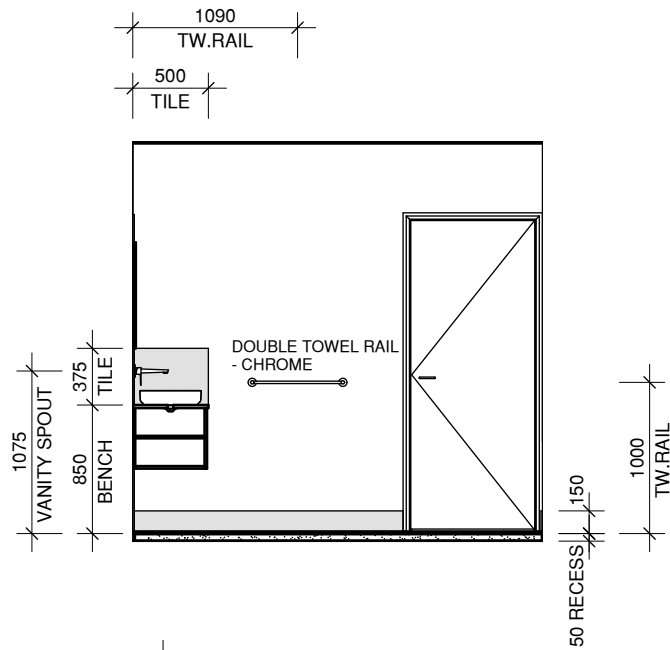
UPPER - BATHROOM PLAN



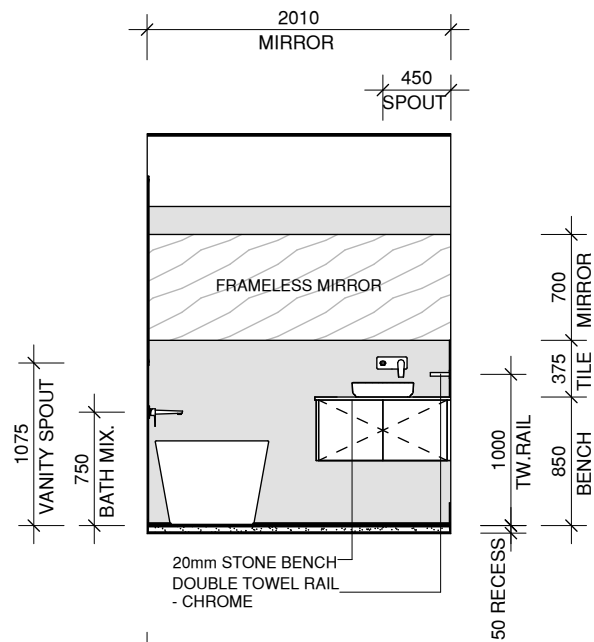
A ELEVATION



B ELEVATION



C ELEVATION



D ELEVATION

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

RLS - WET AREA 01

### IMPORTANT INFORMATION

REFER TO WORKING DRAWINGS FOR ALL ROOM DIMENSIONS, ROOM LAYOUT AND WINDOW/DOOR SIZE AND POSITION.

ALL INTERNAL ELEVATIONS DIMENSIONS STATED ARE FROM INSIDE OF WALL LINING (BASED ON 10mm THICK WALL LININGS).

ALL DIMENSIONS ON FLOOR PLAN ARE FROM FRAME.

ALL DIMENSIONS ARE APPROX. ONLY AND MAY VARY DEPENDING ON PRODUCT SELECTION. TOWEL RAILS, TOILET ROLL HOLDERS, SHOWER SCREENS, VANITIES, POWER POINTS, TILE PATTERNS, SIZE AND SETOUTS ARE INDICATIVE ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

DISCONNECTOR GULLIES ARE PROVIDED TO FLOORS OF WET AREAS WITH BASINS AND/OR SHOWERS AND LAUNDRIES WHEN REQUIRED TO ACT AS A FIXTURE TRAP. NO DISCONNECTOR GULLIES ARE PROVIDED TO AREAS WITH KITCHEN SINKS. THESE ARE TO BE POSITIONED ACCORDING TO AS3500 AND TO BE KEPT CLEAR OF ALL STEPS & HOBS.

### MATERIAL LEGEND



SELECTED TILES

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SIGNATURE

PROPRIETOR  
SIGNATURE

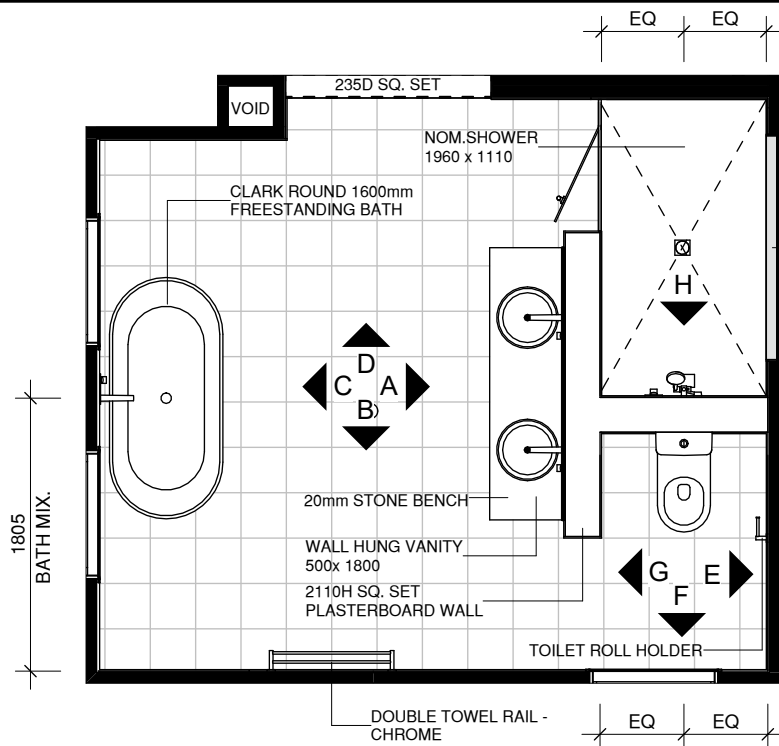
BUILDERS SIGNATURE

# CORAL HOMES

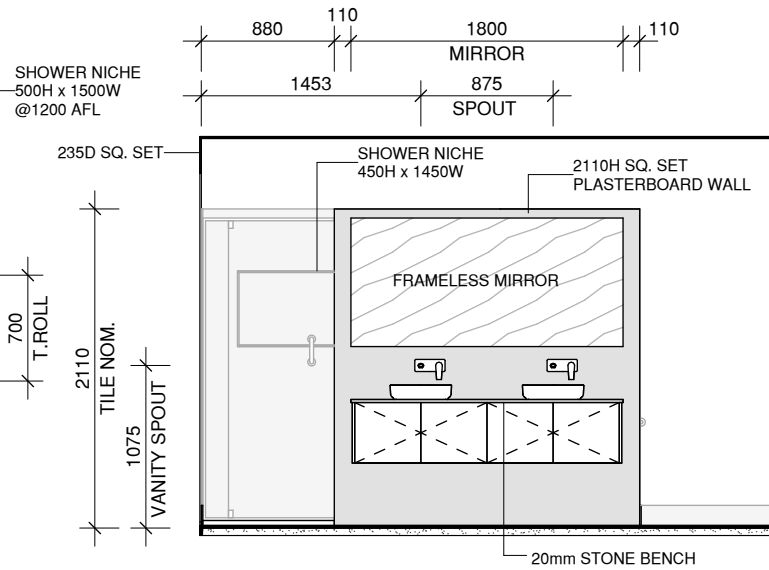
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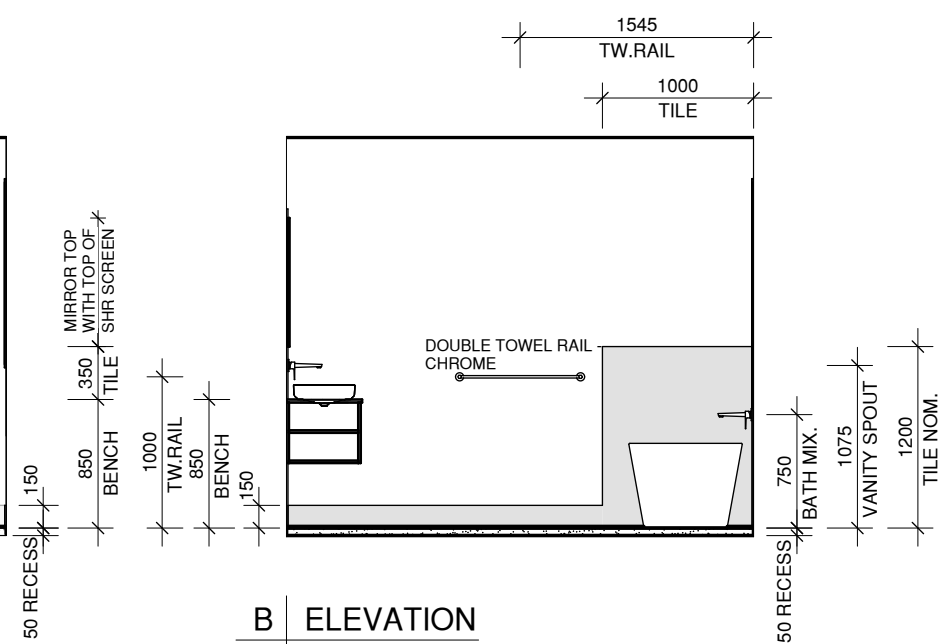
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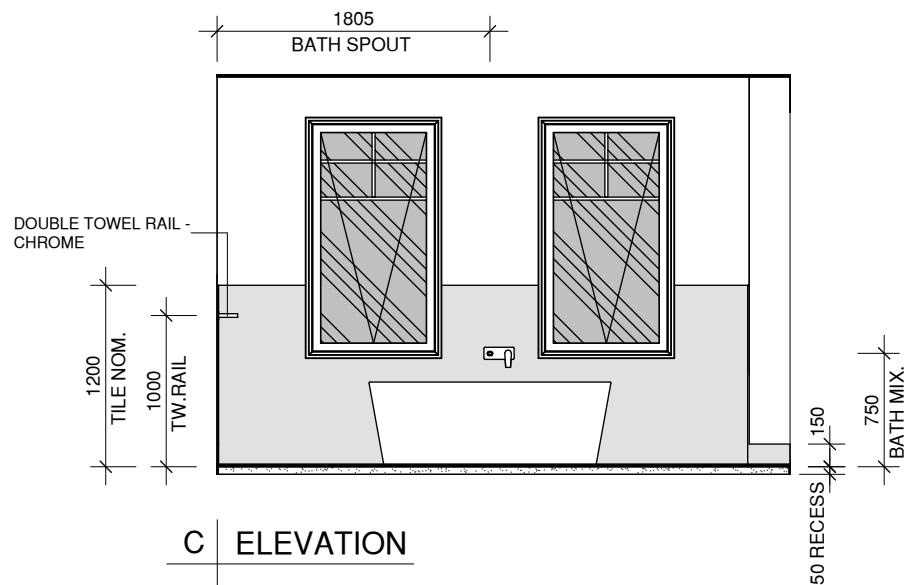
UPPER - ENSUITE PLAN



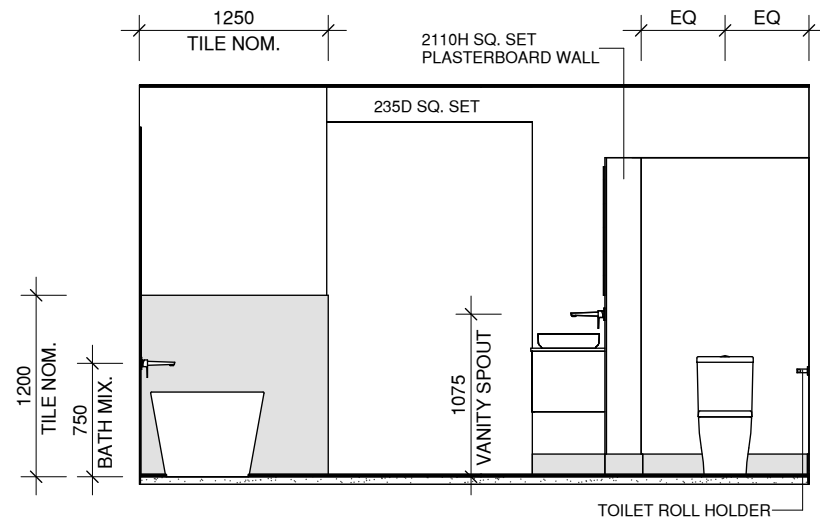
A ELEVATION



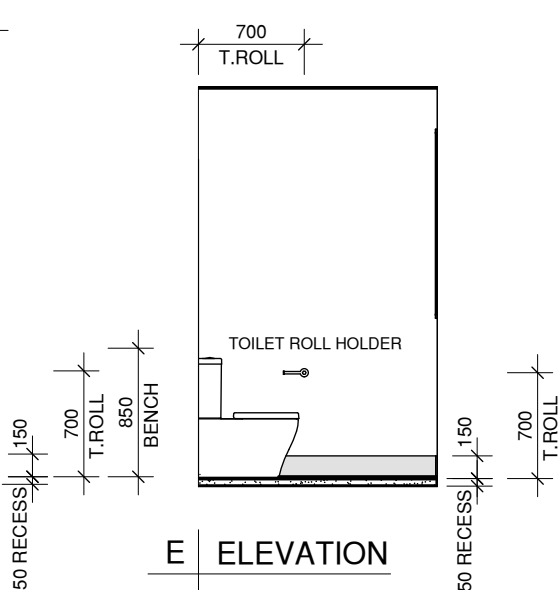
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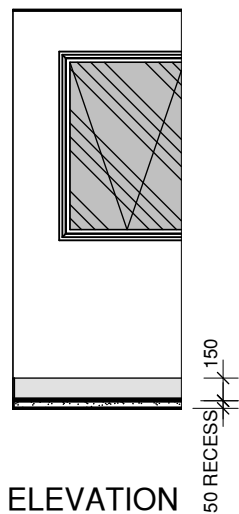
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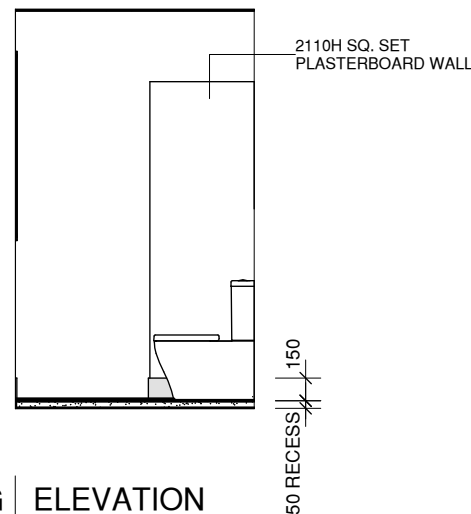
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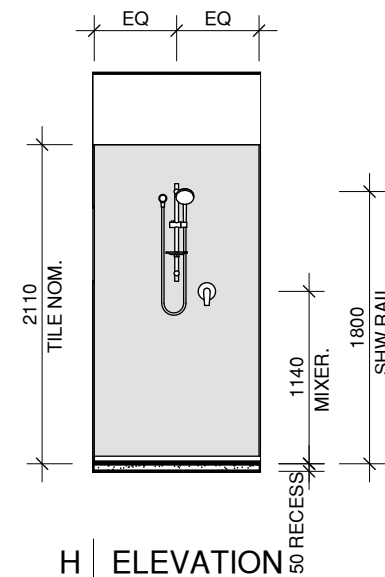
E ELEVATION



F ELEVATION



G ELEVATION



H ELEVATION

CLIENT  
K. J. SHARAN & S. W. WISE  
ADDRESS  
LOT 32 HENDY AVENUE  
PANANIA NSW 2213  
DESIGN  
BOSTON 38  
FACADE  
HAMPTONS BALCONY  
PLAN  
RLS - WET AREA 02

**IMPORTANT INFORMATION**  
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DISCONNECTOR GULLIES ARE PROVIDED TO FLOORS OF WET AREAS WITH BASINS AND/OR SHOWERS AND LAUNDRIES WHEN REQUIRED TO ACT AS A FIXTURE TRAP. NO DISCONNECTOR GULLIES ARE PROVIDED TO AREAS WITH KITCHEN SINKS. THESE ARE TO BE POSITIONED ACCORDING TO AS3500 AND TO BE KEPT CLEAR OF ALL STEPS & HOBS.

**MATERIAL LEGEND**  
SELECTED TILES

**FINAL SIGNED COPY**  
I / WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDED PRELIM PLANS & I / WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR SIGNATURE  
PROPRIETOR SIGNATURE  
BUILDERS SIGNATURE

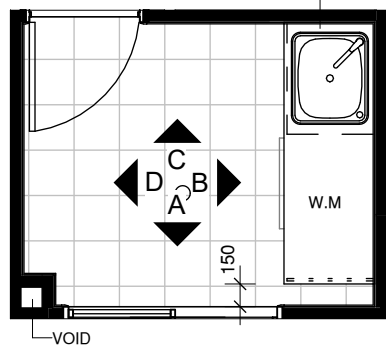
**CORAL HOMES**

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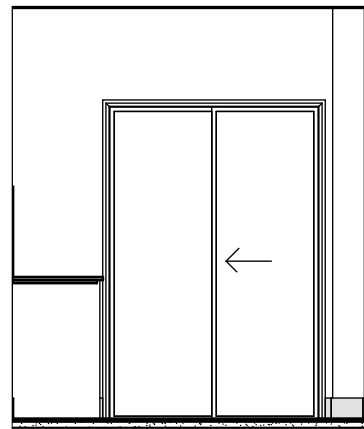
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REV: BASIX  
DATE: 13/03/2024  
REF: 34958  
SCALE: 1 : 50  
SHEET NUMBER: 11 of 17

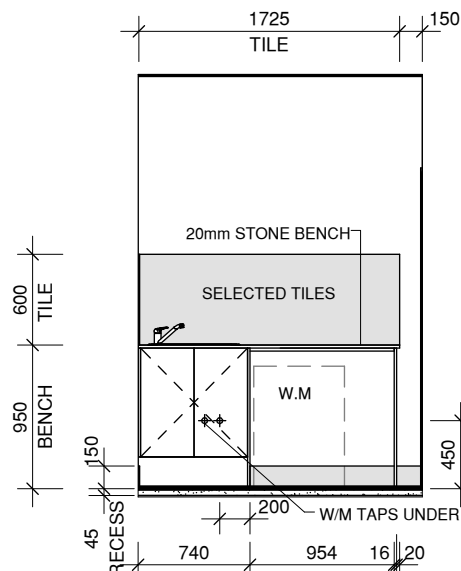
1730L x600W x950H  
BENCH WITH DROP-IN TUB  
& 740L CUPBOARDS UNDER.



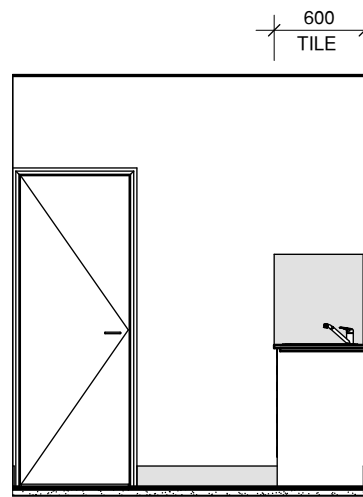
LOWER - LAUNDRY PLAN



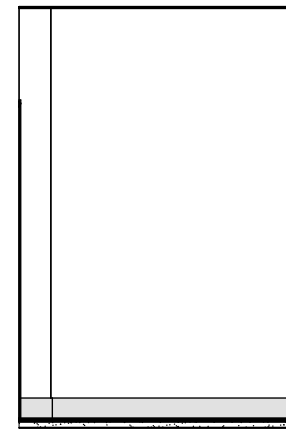
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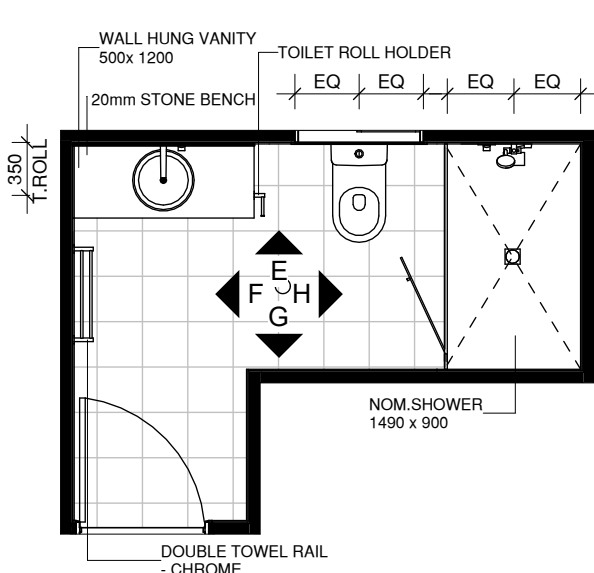
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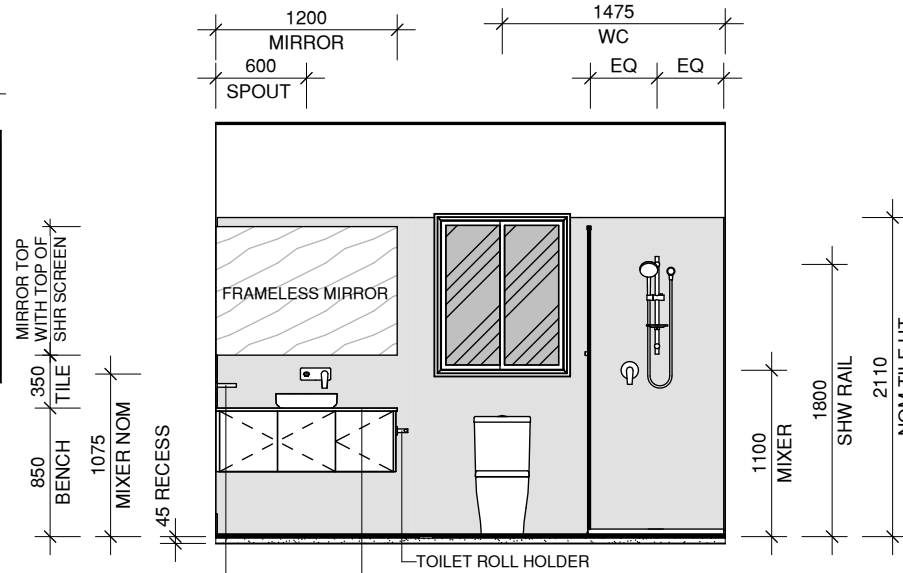
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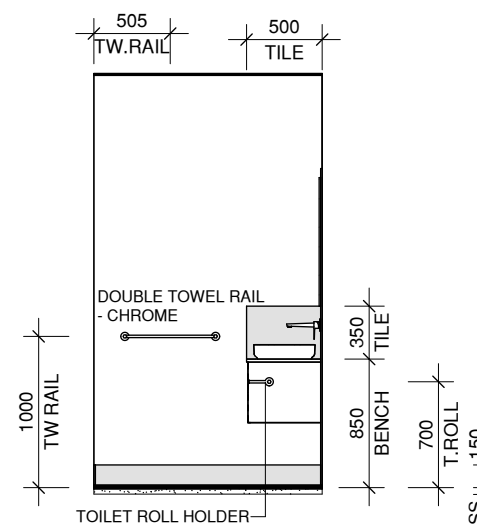
D ELEVATION



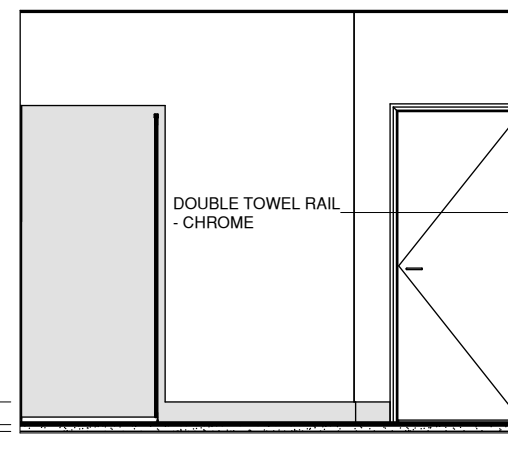
LOWER - PWD. PLAN



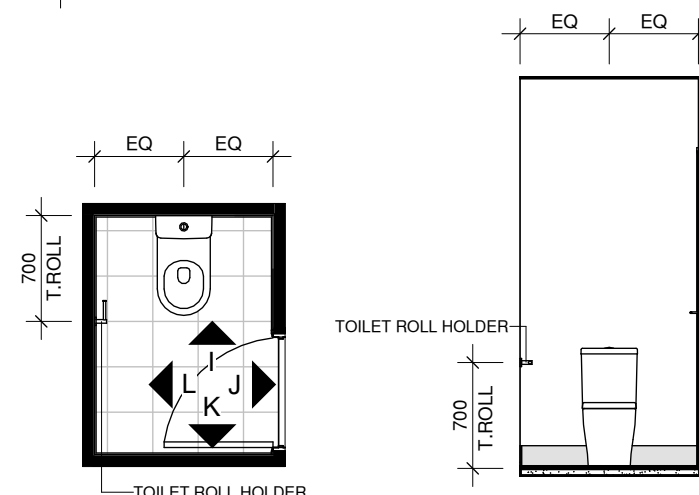
E ELEVATION



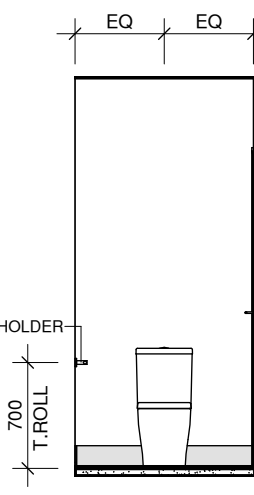
F ELEVATION



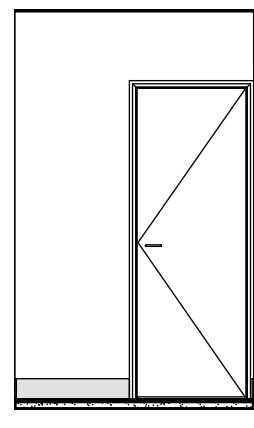
G ELEVATION



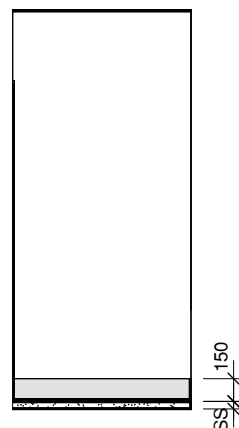
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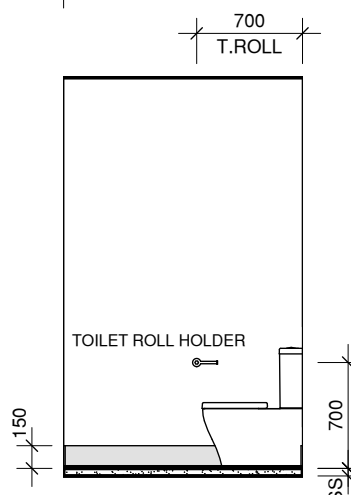
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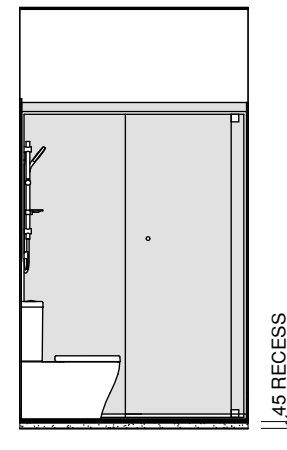
J ELEVATION



K ELEVATION



L ELEVATION



H ELEVATION

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

RLS - WET AREA 03

### IMPORTANT INFORMATION

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### MATERIAL LEGEND



SELECTED TILES

### FINAL SIGNED COPY

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PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

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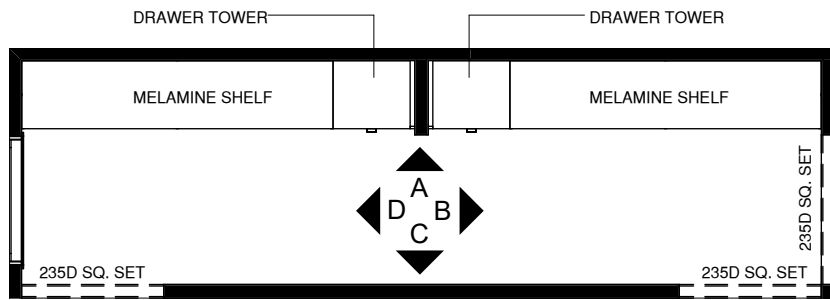
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REF: 34958

SCALE: 1 : 50

SHEET NUMBER: 12 of 17

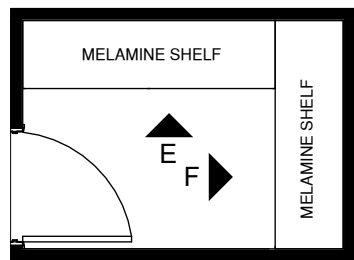




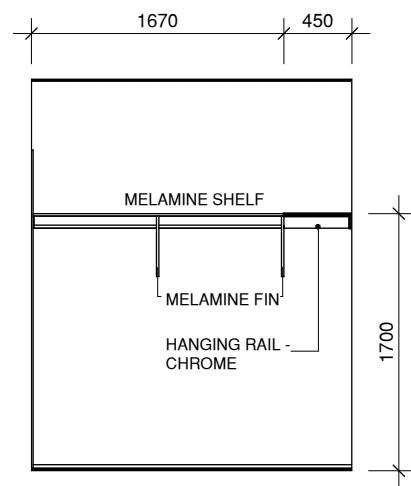
UPPER - WIR 1 PLAN



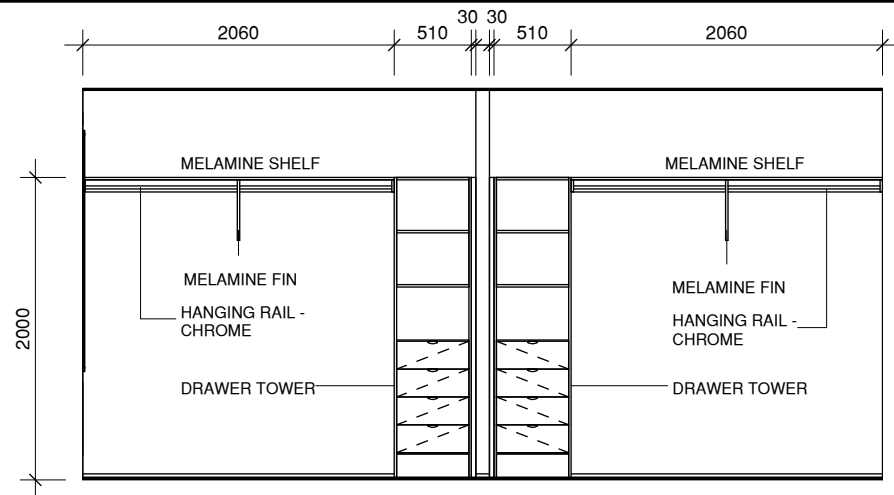
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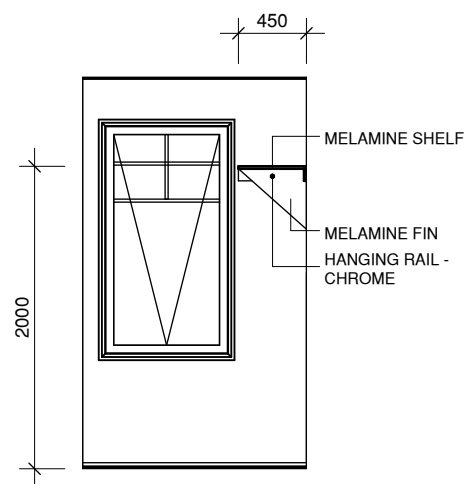
UPPER - WIR 2 PLAN



E ELEVATION



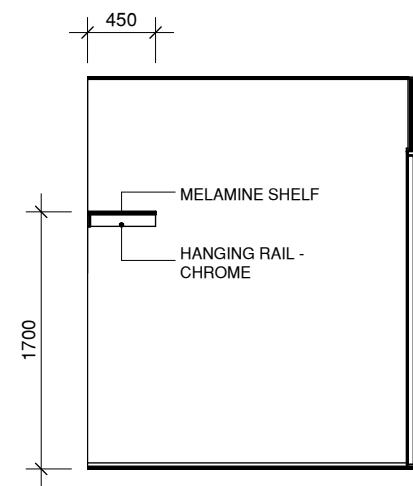
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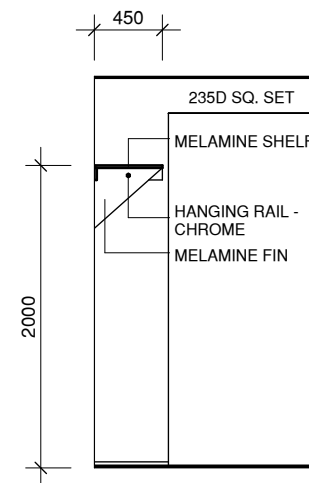
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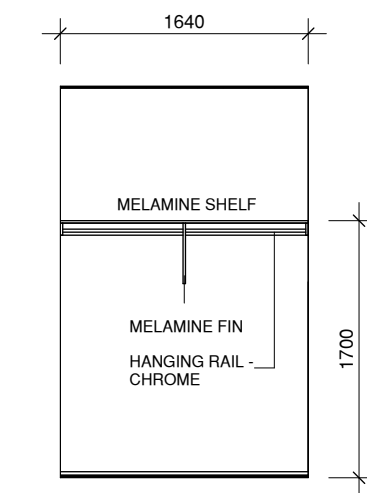
UPPER - ROBE 5 PLAN



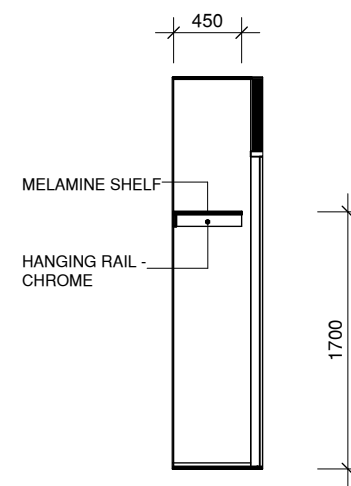
S1 SECTION



B ELEVATION



G ELEVATION



S2 SECTION

CLIENT	K. J. SHARAN & S. W. WISE
ADDRESS	LOT 32 HENDY AVENUE PANANIA NSW 2213
DESIGN	BOSTON 38
FACADE	HAMPTONS BALCONY
PLAN	RLS - ROBES & WIR

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PROPRIETOR SIGNATURE \_\_\_\_\_

PROPRIETOR SIGNATURE \_\_\_\_\_

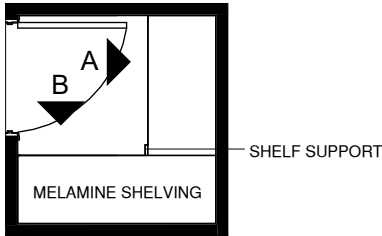
BUILDERS SIGNATURE \_\_\_\_\_

**CORAL HOMES**

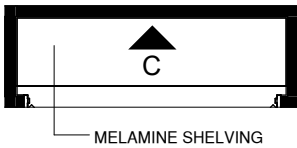
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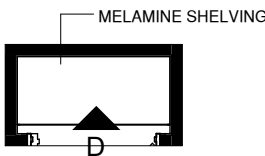
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DATE:	13/03/2024
REF:	34958
SCALE:	1 : 50
SHEET NUMBER:	13 of 17



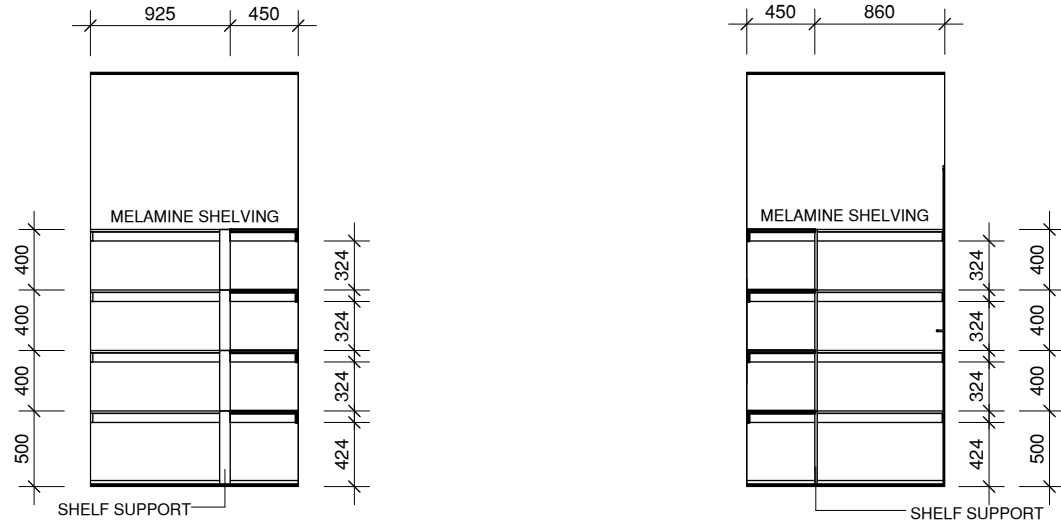
LOWER - LINEN 1 PLAN



UPPER - LINEN 2 PLAN

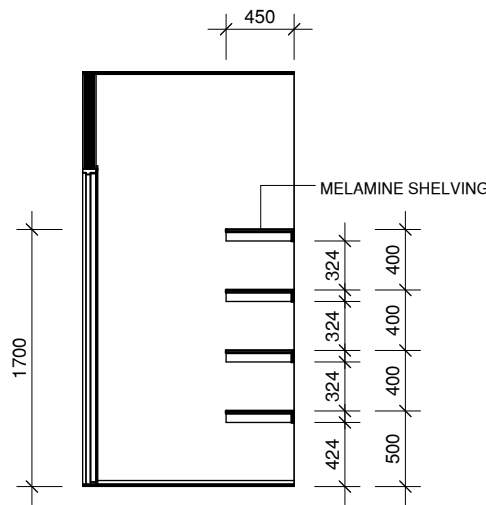


UPPER - LINEN 3 PLAN

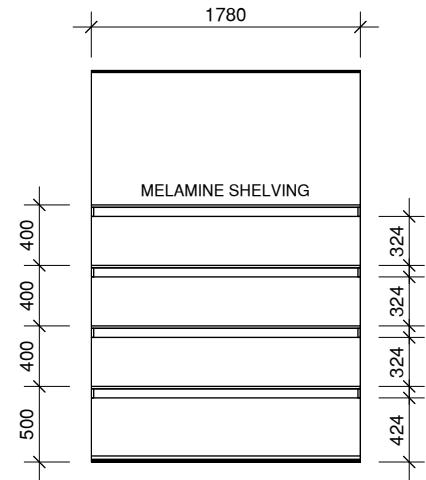


A ELEVATION

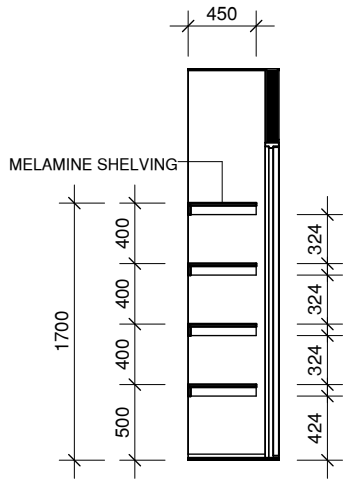
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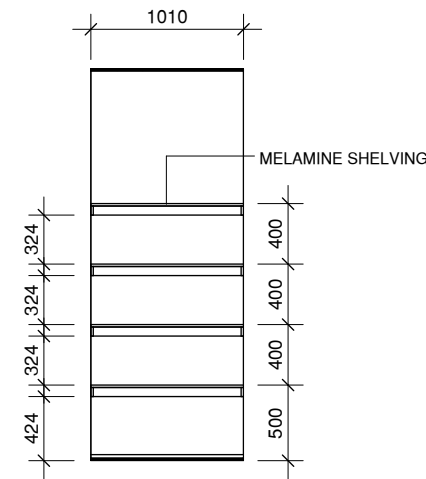
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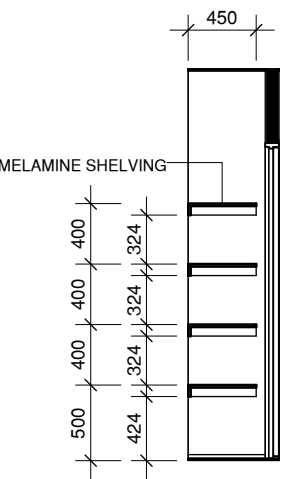
C ELEVATION



S2 SECTION



D ELEVATION



S3 SECTION

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN RLS - LINEN

**IMPORTANT INFORMATION**

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PROPRIETOR SIGNATURE

PROPRIETOR SIGNATURE

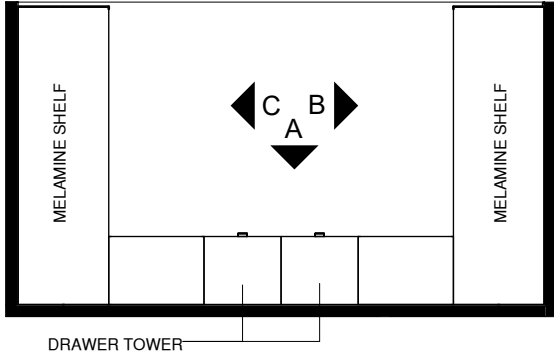
BUILDERS SIGNATURE

**CORAL HOMES**

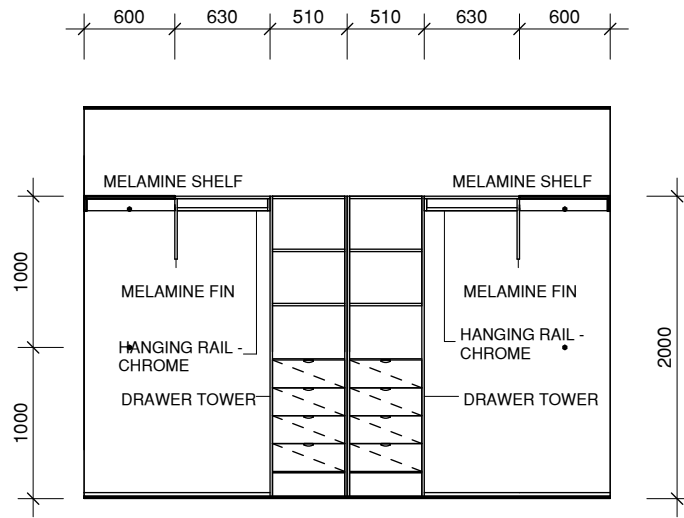
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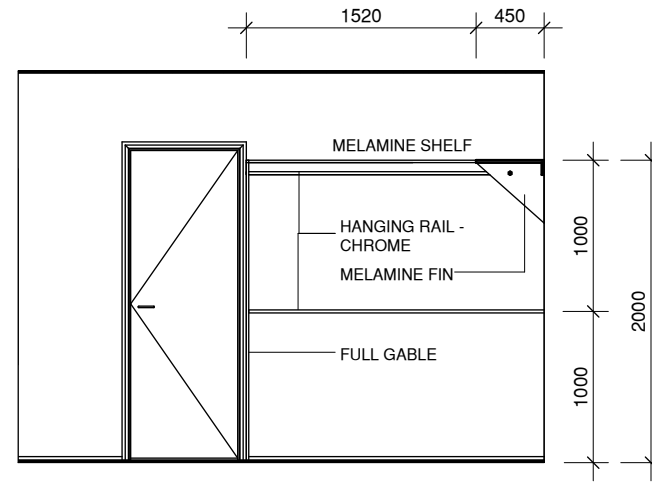
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REF:	34958
SCALE:	1 : 50
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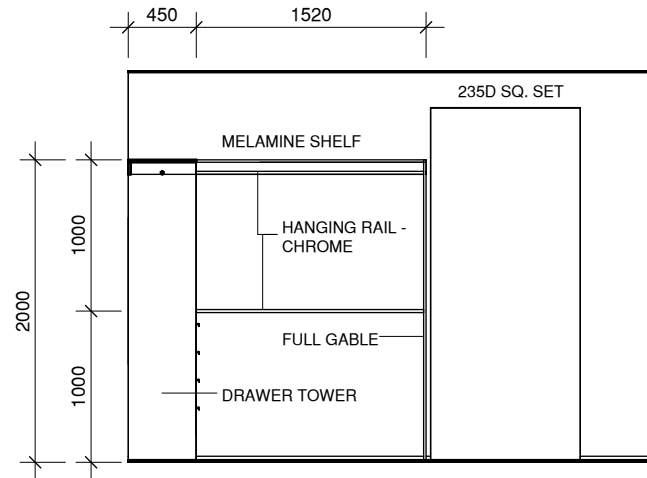
UPPER - WIR 3 PLAN



A ELEVATION



B ELEVATION



C ELEVATION

CLIENT  
K. J. SHARAN & S. W. WISE

ADDRESS  
LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN  
BOSTON 38

FACADE  
HAMPTONS BALCONY

PLAN  
RLS - WIR 3

**IMPORTANT INFORMATION**

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PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

**CORAL  
HOMES**

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DATE:	13/03/2024
REF:	34958
SCALE:	1 : 50
SHEET NUMBER:	14C of 17





LOWER LEVEL - FLOOR COVERINGS

TILES -WALL (m2)	
Locations	Area (m2)
(Tiles) Wet Area Walls	46.863
(Tiles) Kitchen Splashback	5.229
(Tiles) External Wall Tiles	0.452

TILES -SKIRTING (m)	
Locations	Length (m)
(Tiles) Wet Area Walls	26.34
(Tiles) External Wall Tiles	4.11

TILES -BATH n SHOWER NICHE (m2)	
Locations	Overall Area: (Approx.) (m2)
(Tiles) Wet Area Walls	1.55

FLOOR COVERINGS (m2)	
Materials / Locations	Overall Area: (Approx.) (m2)
(Tiles) External Floors	5.90
(Tiles) Wet Area Floors-Lower Floor	10.25
(Tiles) Wet Area Floors-Upper Floor	23.03

STAIRS		
	Floor Area (m2)	Riser Area (m2)
		3.160



UPPER LEVEL - FLOOR COVERINGS

CLIENT  
K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN FLOOR COVERING PLAN

MATERIAL LEGEND

- WET AREA TILE
- MAIN FLOOR TILE
- CARPET
- TIMBER FLOOR
- VINYL
- OUTDOOR FLOOR TILE
- OUTDOOR DECKING

NOTE:  
TILE PATTERNS, SIZE AND SETOUTS  
ARE INDICATIVE ONLY AND ARE NOT  
TO BE USED FOR ANY OTHER PURPOSE

FINAL SIGNED COPY

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CONTRACT BETWEEN THE PROPRIETOR &  
CORAL HOMES.

PROPRIETOR SIGNATURE  
PROPRIETOR SIGNATURE  
BUILDERS SIGNATURE

CORAL  
HOMES

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DATE: 13/03/2024  
REF: 34958  
SCALE: 1 : 100  
SHEET NUMBER: 15 of 17

BASIX® commitments

Assessor  
Date  
BASIX Certificate No.  
NatHERS Certificate No.

Mr. Daniel Wanda  
13 / 03 / 24  
13872695\_04  
000801775-04

Project details

Site Address  
Municipality  
Reference

Lot 32, 15 Hendy Avenue, Panania NSW 2213  
Canterbury-Bankstown  
34958

Thermal Comfort

Floors  
Ceiling Between Floors  
External Walls  
Internal Walls  
Ceilings  
Roof  
Roof Insulation  
Windows:  
A&L Awning Windows (Aluminium Framed - Single Glazed 6mm Clear)  
A&L Sliding Windows (Aluminium Framed - Single Glazed 6mm Clear)  
A&L Sliding Door (Aluminium Framed - Single Glazed 6mm Clear)  
A&L Fixed Windows (Aluminium Framed - Single Glazed 6mm Clear)

225mm Waffle pod slab  
R3.5 Insulation to Garage ceiling joists  
R2.0 Bulk Insulation to all external walls (Excl. Garage) | Medium  
R2.0 Bulk Insulation to Garage internal walls  
R3.5 Bulk Insulation to all trussed ceilings (excl. Outdoor Areas)  
Colorbond | Dark  
Sarking  
U-Value: 5.72 SHGC: 0.63  
U-Value: 6.04 SHGC: 0.74  
U-Value: 6.03 SHGC: 0.70  
U-Value: 5.62 SHGC: 0.73

\*Refer to NatHERS Certificate for location and dimensions of windows.

Skylights		N/A	
Water		Energy	
Landscape Area	250m²	Hot Water	Gas Instantaneous   6 star
W.C's	4 star	Air-Con (Heating)	3-Phase Ducted A/C   3.0 - 3.5
Kitchen Taps	3 star	Air-Con (Cooling)	3-Phase Ducted A/C   3.0 - 3.5
Shower Heads	4 star (>4.5 l/min <= 6 L/min)	Ventilation	As Per Basix Assessment
Basin Taps	3 star	PV System	N/A
Alternative Water	3000L Rainwater Tank	Cooking	Gas Cooktop & Electric Oven
Roof Water to Tank	80m²	Drying	Indoor & Outdoor Clothesline
All Water Uses	Garden Tap, Laundry & WC	Lighting	Dedicated LED

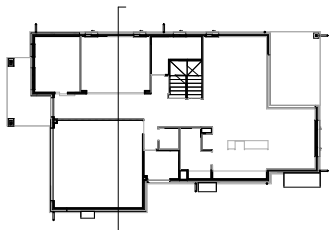
Phone: 0488 203 606      Email: giuseppe@energyassessments.com.au      ABN: 77 614 736 284

WINDOWS

Location	Description	Product Type	Area	Sash (No.)	Glazing Type	U Value	SHGC
WC 1	STANDARD AWNING WINDOW	1209 AWN OBS	1.02 m²	1	Glazing- Obscure	0.00	0.00
WIR 1	LINEAGE COLLECTION - NEWPORT - ARMADALE AWNING WINDOW	AR1509 AWN	1.31 m²	1	Glass	0.00	0.00
ENS.	LINEAGE COLLECTION - NEWPORT - ARMADALE AWNING WINDOW	AR1509 AWN OBS	1.31 m²	1	Glazing- Obscure	0.00	0.00
ENS.	LINEAGE COLLECTION - NEWPORT - ARMADALE AWNING WINDOW	AR1509 AWN OBS	1.31 m²	1	Glazing- Obscure	0.00	0.00
LIVING	LINEAGE COLLECTION - NEWPORT - ARMADALE AWNING WINDOW	AR1809 AWN	1.53 m²	1	Glass	0.00	0.00
LIVING	LINEAGE COLLECTION - NEWPORT - GEORGIAN AWNING WINDOW	GS1815 AWN	2.61 m²	2	Glass	0.00	0.00
ACTIVITY	STANDARD SLIDING WINDOW	SW-0918	1.55 m²	1	Glass	0.00	0.00
PWD.	STANDARD SLIDING WINDOW	SW-1009 OBS	0.87 m²	1	Glazing- Obscure	0.00	0.00
WIR 3	STANDARD FIXED WINDOW	1209 F/G	1.02 m²	0	Glass	0.00	0.00
BATH	STANDARD SLIDING WINDOW	SW-1215 OBS	1.74 m²	1	Glazing- Obscure	0.00	0.00
BED 2	STANDARD SLIDING WINDOW	SW-1218	2.17 m²	1	Glass	0.00	0.00
BED 3	STANDARD SLIDING WINDOW	SW-1218	2.17 m²	1	Glass	0.00	0.00
BED 4	STANDARD SLIDING WINDOW	SW-1221	2.60 m²	1	Glass	0.00	0.00
FAMILY	STANDARD SLIDING WINDOW	SW-1809	1.53 m²	1	Glass	0.00	0.00
STUDY	STANDARD SLIDING WINDOW	SW-1809	1.53 m²	1	Glass	0.00	0.00
STUDY	STANDARD SLIDING WINDOW	SW-1809	1.53 m²	1	Glass	0.00	0.00
DINING	STANDARD SLIDING WINDOW	SW-2024	4.96 m²	2	Glass	0.00	0.00
Grand total			30.77 m²	18			

INSULATION TABLE

ROOF	
EXTERNAL WALL (INCL. R2.0 BATTS TO CLADDING)	SARKING R2.0 GLASSWOOL BATTS (EXCL. GARAGE)
EXTERNAL CEILING	
INTERNAL CEILING (UNDER ROOF)	R3.5 GLASSWOOL BATTS
INTERNAL CEILING (SUBFLOOR)	
INTERNAL WALL (GROUND)	
INTERNAL WALL (UPPER)	



KEY PLAN

1 : 500

UPPER LEVEL - STANDARD HEIGHT

5750

UPPER LEVEL - FFL

3160

LOWER LEVEL - FFL

0

TRUSS LAYOUT AS PER  
MANUFACTURERS SPECIFICATION

2/ ROOF VENTILATOR'S FIXED TO  
MANUFACTURER'S SPECIFICATIONS  
FOR ROOF SPACE VENTILATION

22.5° ROOF PITCH

PAINTED EASY LAP CLADDING  
WITH BATTS & SARKING  
INSTALLED TO MANUF'S  
SPEC'S. REFER DETAILS.

SHEET METAL ROOF

20.0° ROOF PITCH

PLASTERBOARD CEILING LINING  
INSULATION BATTS TO ROOF SPACE  
REFER TO TABLE.

BRICK VENEER CONSTRUCTION TO  
EXTERNAL WALLS WITH SARKING  
REFER TO TABLE.

TYPICAL BUILDING SECTION

1 : 50

CLIENT

K. J. SHARAN & S. W. WISE

DESIGN

BOSTON 38

ADDRESS

FACADE

HAMPTONS BALCONY

LOT 32 HENDY AVENUE  
PANANIA NSW 2213

PLAN

SECTION

FINAL SIGNED COPY

I / WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS  
THAT SUPERSEDED PRELIM PLANS & I / WE HAVE CHECKED THAT ANY  
ALTERATIONS OR ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM  
PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

CORAL HOMES

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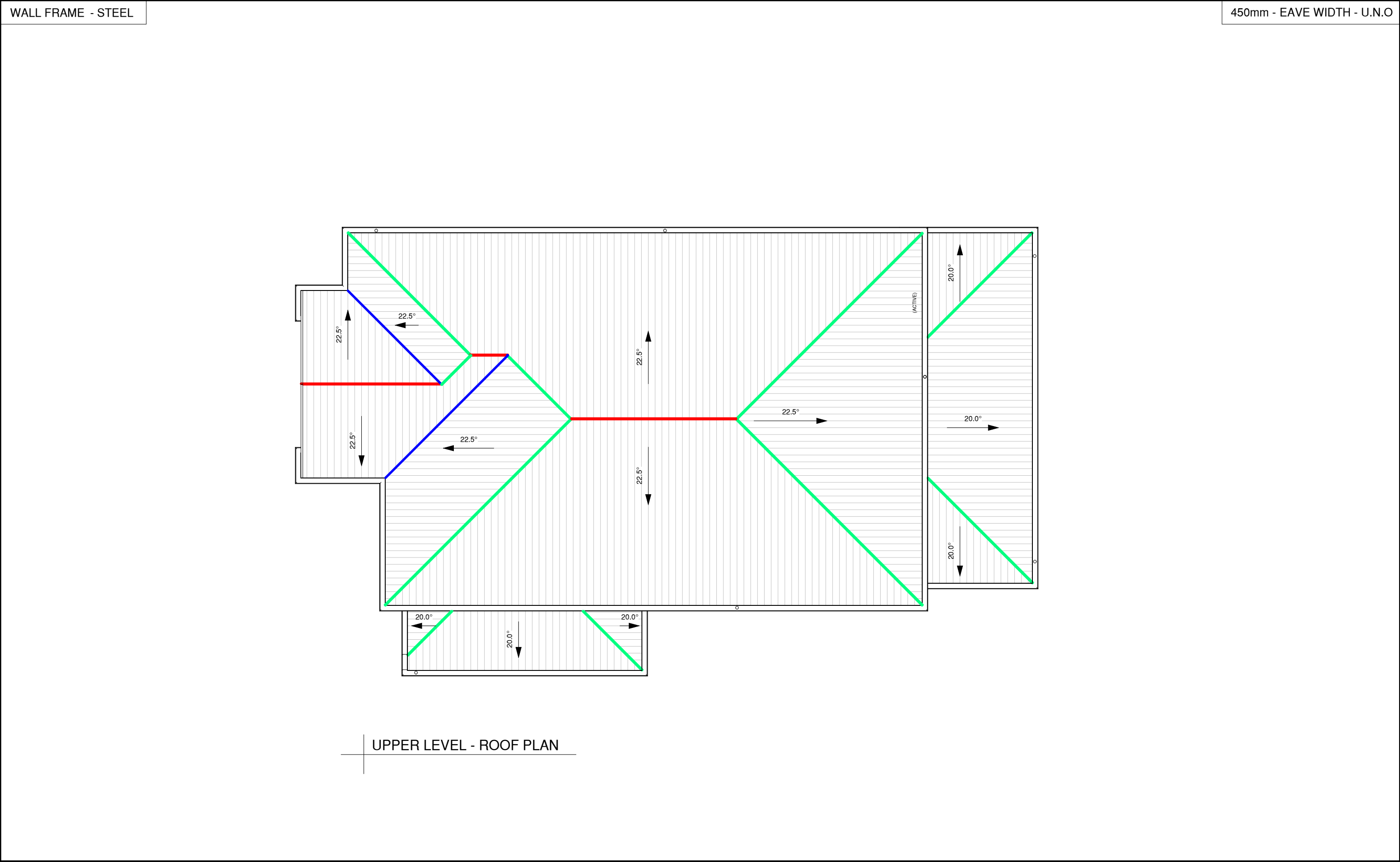
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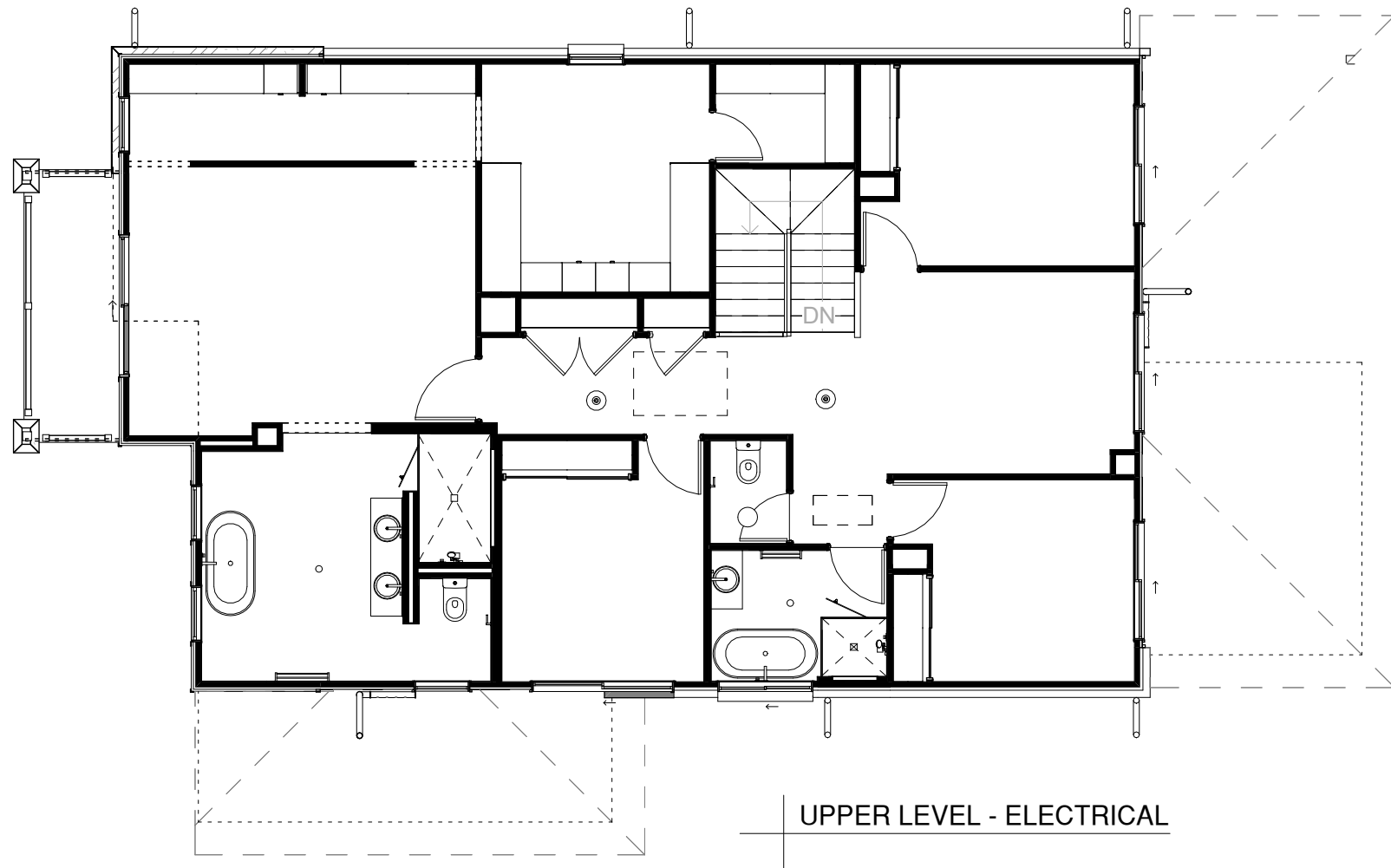
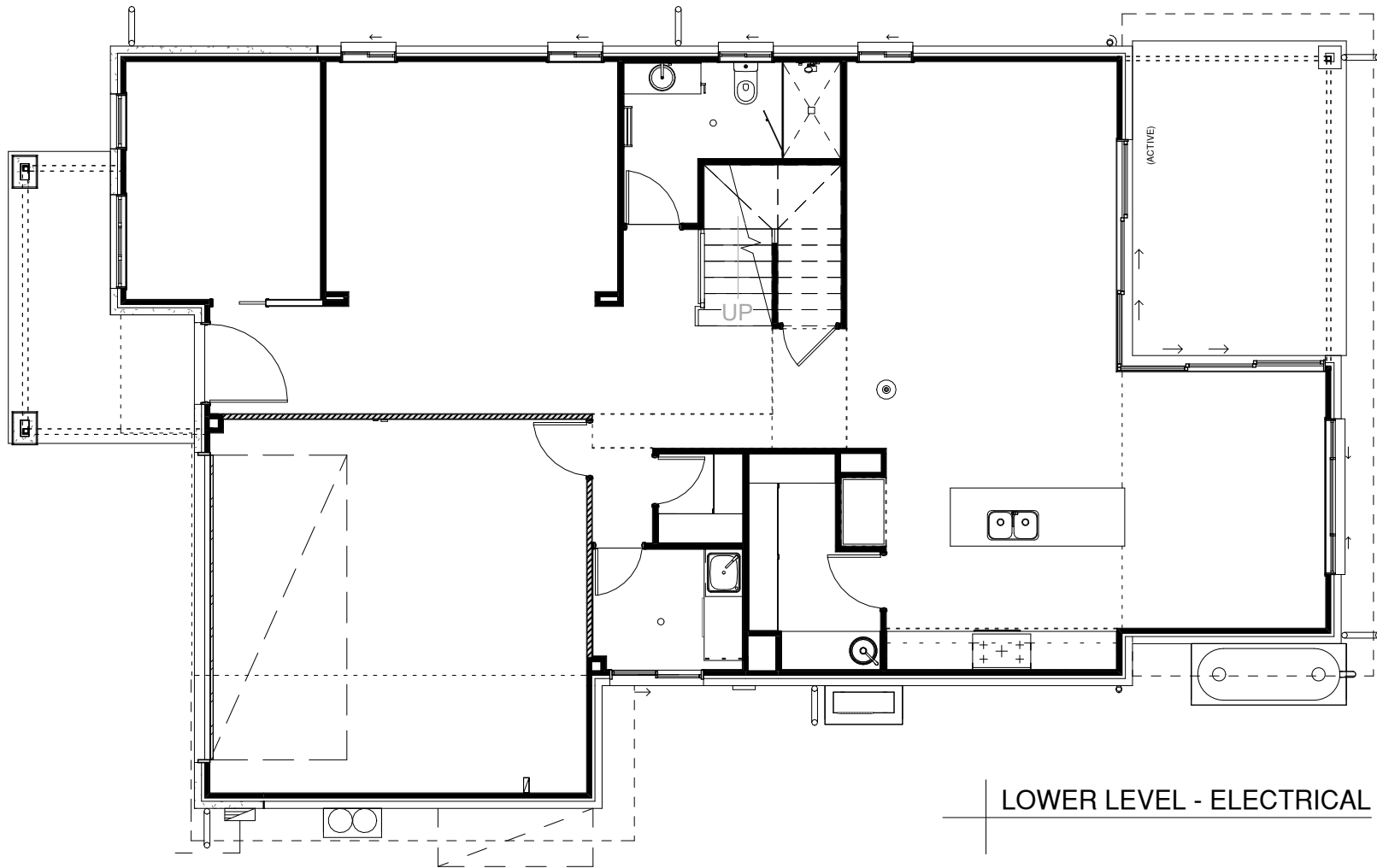
DATE: 13/03/2024

REF: 34958

SCALE: As indicated

SHEET NUMBER: 16 of 17





CLIENT	
K. J. SHARAN & S. W. WISE	
ADDRESS	
LOT 32 HENDY AVENUE PANANIA NSW 2213	
DESIGN	BOSTON 38
FACADE	HAMPTONS BALCONY
PLAN	ELECTRICAL PLAN

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PROPRIETOR  
SIGNATURE

PROPRIETOR  
SIGNATURE

BUILDERS SIGNATURE

CORAL  
HOMES

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REV:	BASIX
DATE:	13/03/2024
REF:	34958
SCALE:	1 : 100
SHEET NUMBER:	01 of 01